



Infrastructure Maintenance Center
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Thornton, CO 80241-2405
www.thorntonwaterproject.com

Infrastructure Department
Thornton Water Project
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January 5, 2018

Mr. Rob Helmick
Larimer County Planning Department
200 West Oak Street, Suite 3100
Fort Collins, CO 80521

Subject: Larimer County 1041 Permit Application for the Thornton Water Project

Dear Mr. Helmick:

The city of Thornton (Thornton) is requesting a 1041 permit to conduct an area or activity of state interest as authorized by Title 24, Section 65.1-501 of the Colorado Revised Statutes and Sections 12 and 14 of Part II of the Larimer County Land Use Code (LUC). The area or activity of state interest involves construction, operation, and maintenance of a new domestic water transmission line that is contained within new permanent easements greater than 30 feet.

This 1041 permit application requests approval of a project corridor to construct, operate, and maintain the Thornton Water Project (TWP) that includes up to approximately 26 miles of buried 48-inch domestic water transmission pipeline and associated appurtenances in unincorporated Larimer County. TWP appurtenances include an approximate 1 million gallon above ground steel water tank and valve assemblies. The TWP will also include an approximate 40 million gallon per day source water pump station located near Water Supply and Storage Company (WSSC) Reservoir No. 4. As discussed with Larimer County Planning staff at the Pre-Application Conference held on May 26, 2016, the source water pump station is not part of this 1041 permit application, but will be separately permitted through the Site Plan Review permit process. Information on the source water pump station provided in the application is of a general nature and is included to present a more complete scope of the TWP. To date no design has been completed for the source water pump station and Thornton will submit a Site Plan Review permit application to Larimer County in accordance with LUC Section 6.0.

The TWP is a water delivery system that will convey domestic water from the WSSC system purchased by Thornton in the mid-1980's to Thornton. The TWP will provide a reliable, high quality, and economical water supply to Thornton.

This 1041 permit application addresses areas in unincorporated Larimer County, which include private or public lands within the boundaries of Larimer County and outside the boundaries of any municipality (city or town). The application is organized consistent with and includes items required for submission by the *Larimer County Planning Department Procedural Guide for 1041 Permits, Submittal Requirements for 1041 Permits (Procedural Guide)*, October 20, 2008



provided by you and discussed at the Pre-Application Conference. The application includes the following:

- An Executive Summary
- Land Use Application Form
- Project Description
- Required Maps
- Technical Reports
- Adjacent Property Owner List
- 1041 Development Review fee of \$5,800
- Pre-application Form

The siting and development of the TWP conforms to Larimer County 1041 permit requirements as described in this application.

I look forward to working with you during the permit review process. Please do not hesitate to contact me if I can assist with any questions or information regarding the Thornton Water Project.

Sincerely,

A handwritten signature in blue ink that reads "Mark Koleber".

Mark Koleber
Thornton Water Project Director

Thornton Water Project Larimer County 1041 Permit Application Volume 1 of 2



Submitted to:
Larimer County Planning Department
200 West Oak Street, Suite 3100
Fort Collins, CO 80521

Date: January 2018



CH2MHILL

Prepared By:
CH2M HILL
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City of Thornton

Prepared For:
City of Thornton
9500 Civic Center Drive
Thornton, CO 80229



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Thornton Water Project Acronyms and Abbreviations

ADT	Average Daily Traffic
ARDEC	Agricultural Research, Development, and Education Center
BMP	Best Management Practice
BNSF	Burlington Northern and Santa Fe Railway
C-BT	Colorado-Big Thompson
CCR	Code of Colorado Regulations
CDOA	Colorado Department of Agriculture
CDOT	Colorado Department of Transportation
CDOW	Colorado Division of Wildlife
CDPHE	Colorado Department of Public Health and Environment
CDPS	Colorado Discharge Permit System
CFR	Code of Federal Regulations
CIA	Community Influence Area
CNDIS	Colorado Natural Diversity Information System
CNHP	Colorado Natural Heritage Program
CORA	Colorado Open Records Act
CPA	Cooperative Planning Act
CPW	Colorado Parks and Wildlife
CSU	Colorado State University
CWCWD	Central Weld County Water District
DRCOG	Denver Regional Council of Governments
DWR	Colorado Division of Water Resources
ELCO	East Larimer County Water District
ERO	ERO Resources, Inc.
ESA	Endangered Species Act
FEMA	Federal Emergency Management Agency
FIRM	Flood Insurance Rate Maps
FM	Floodway
FRICO	Farmers Reservoir and Irrigation Company
GIS	Geographic Information System
GM	Growth Management
GMA	Growth Management Area

HOA	Home Owners' Association
HUC	Hydrologic Unit Code
HVAC	Heating, Ventilation, and Air Conditioning
IGA	Intergovernmental Agreement
IPM	Integrated Pest Management
LCR	Larimer County Road
LU	Land Use
LUC	Larimer County Land Use Code
MBTA	Migratory Bird Treaty Act
Min	Minimum
mgd	million gallons per day
MS4	Municipal Separate Storm Sewer System
MOU	Memorandum of Understanding
NAIP	National Agricultural Imagery Program
NHD	National Hydrography Dataset
NISP	Northern Integrated Supply Project
Northern Water	Northern Colorado Water Conservancy District
NPDES	National Pollutant Discharge Elimination System
NRCS	Natural Resources Conservation Service
NWCWD	North Weld County Water District
NWI	National Wetland Inventory
OAHP	Office of Archeology and Historic Preservation
Preble's Project	Preble's Meadow Jumping Mouse Thornton Water Project
PSCo	Public Service Company of Colorado
PVREA	Poudre Valley Rural Electrical Association
RT ²	Regional Transmission and Treatment Feasibility Study
ROW	Right-of-Way
SCS	Soil Conservation Service
SDS	Safety Data Sheet
SHPO	State Historic Preservation Officer
SWMP	Stormwater Management Plan

Thornton	City of Thornton
TWP	Thornton Water Project
Typ	Typical
UDFCD	Urban Drainage and Flood Control District
UPRR	Union Pacific Railroad
USACE	U.S. Army Corps of Engineers
USDCM	Urban Storm Drainage Criteria Manual
USFWS	U.S. Fish and Wildlife Service
USGS	U.S. Geological Survey
WCR	Weld County Road
WOTUS	Waters of the United States
WSSC	Water Supply and Storage Company
WQCC	Colorado Water Quality Control Division

Introduction

The city of Thornton (Thornton), Colorado is requesting a 1041 permit for the Thornton Water Project (TWP), the siting and development of which has been designated as an area and activity of state interest as authorized by Title 24, Section 65.1-501 of the Colorado Revised Statutes, and Sections 12 and 14 of Part II of the Larimer County Land Use Code (LUC), Version September 13, 2017. The matter of state interest, as defined by the LUC, involves the siting and development of a new domestic water transmission line that is contained within new permanent easements greater than 30 feet.

The TWP 1041 permit application (Application) requests approval of a project corridor to construct, operate, and maintain the TWP which includes up to approximately 26 miles of a buried 48-inch domestic water transmission pipeline (water pipeline) and associated appurtenances in unincorporated Larimer County. TWP appurtenances include an approximate 1 million gallon, above-ground steel water tank and valve assemblies. The TWP will also include an approximate 40-million gallon per day (mgd) source water pump station located near Water Supply and Storage Company (WSSC) Reservoir No. 4. As discussed with Larimer County Planning staff at the Pre-Application Conference held on May 26, 2016, the source water pump station is not part of this Application, but will be separately permitted through the Site Plan Review permit process. Information on the source water pump station provided in this Application is of a general nature and is included to present a more complete scope of the TWP.

The TWP is a water delivery system that will convey domestic water from the WSSC system, purchased by Thornton in the mid-1980's, from unincorporated Larimer County to Thornton.

The Application addresses areas in unincorporated Larimer County, which include private or public lands within the boundaries of Larimer County but outside the corporate boundaries of any municipality (city or town). The Application is organized consistent with the *Larimer County Planning Department Procedural Guide for 1041 Permits, Submittal Requirements for 1041 Permits*, October 20, 2008 (*Larimer County Planning Department Procedural Guide for 1041 Permits*). The siting and development of the TWP conforms to Larimer County 1041 permit requirements as described in this Application.

Thornton has met multiple times with staff from the Larimer County Planning and Public Works Departments regarding the TWP and the 1041 permit application process and permit requirements. The Pre-Application Conference and follow-up meetings provided Thornton with guidance and recommendations from Larimer County staff to help ensure a complete permit application submittal. Thornton has continued to consult with the Larimer County Planning and Public Works Departments throughout the development of this Application, including periodic telephone and e-mail communications. The signed 1041 application form and fee are provided with this Application.

Section 1 Application Form

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 1, and the criteria and standards described in LUC Section 12.1.A.

See attached application form provided behind this page.

Applicant City of Thornton
 Brett Henry, Executive Director – Infrastructure Department
 12450 Washington Street
 Thornton, Colorado 80241
 Phone: (720) 977-6700 E-mail: info@ThorntonWaterProject.com



www.larimer.org

Planning Department

200 W. Oak Street
3rd Floor
Fort Collins, CO 80521
970-498-7683

Development Review Process

What process are you applying for?

- 1041
- Appeal
- Add-on Agreement
- Amended Plat
- Boundary Line Adjustment
- Condominium Map Review
- Extended Family Dwelling
- Farmstead
- Location & Extent
- Lot Consolidation
- Minor Land Division
- Minor Special Review
- Nonconformities
- Plat Vacation
- Rezoning
- ROW or Easement Vacation
- Site Plan Review
- Special Exception
- Special Review
- Variance
- Wireless Facility
- Other: _____

Application Phase

What process phase are you applying for?

- Admin Review
- Sketch Plan Review
- Public Hearing

Land Use Application

All applications must be complete. To be complete, the application must include all items identified on the submittal requirement checklist. Any application which is not complete will not be accepted, processed, or scheduled for review.

GENERAL INFORMATION – Information about people with interest in the project

Property Owner

Name: Varies, Numerous properties along Thornton Water Project corridor
 Address: _____
 City/State/Zip: _____
 Phone: _____
 Email: _____

Property Owner

Name: _____
 Address: _____
 City/State/Zip: _____
 Phone: _____
 Email: _____

Applicant

Name: City of Thornton; Brett Henry/Executive Director Infrastructure Department
 Address: 12450 Washington Street
 City/State/Zip: Thornton, CO 80241
 Phone: 720-977-6700
 Email: info@ThorntonWaterProject.com

Contact Person – will receive correspondence from County staff and referral agencies

Name: Mark Koleber/Thornton Water Project Director
 Address: 12450 Washington Street
 City/State/Zip: Thornton, CO 80241
 Phone: 720-977-6700
 Email: info@ThorntonWaterProject.com

Engineer/Surveyor

Name: Jody Henry/CH2M HILL, Owner's Advisor
 Address: 9191 South Jamaica Street
 City/State/Zip: Englewood, CO 80112
 Phone: 720-286-1807
 Email: Jody.Henry@ch2m.com

PROJECT IDENTIFICATION (list all parcels #'s that pertain to the project):

Varies, numerous along Thornton Water Project corridor

Signatures required by ALL Property Owners and the Applicant

I hereby certify that I am the lawful owner of the parcel(s) of land that this application concerns and consent to the action. I hereby permit county officials to enter upon the property for the purposes of inspection relating to the application. Building Permits **will not be accepted** while this application is in process.

Not applicable for linear projects Date: _____
 Property Owner(s)

 Date: _____
 Property Owner(s)

In submitting the application materials and signing this application agreement, I acknowledge and agree that the application is subject to the applicable processing and public hearing requirements set forth in the Larimer County Land Use Code (which can be viewed at www.larimer.org)

[Signature] Date: Jan 5, 2018
 Applicant

THIS SECTION IS FOR PLANNING STAFF TO COMPLETE AT PRE-APP

PROJECT SITE INFORMATION	
Project Location: Quarter Section _____	Section _____ Township _____ Range _____
Project Address (if available): _____	
Assessor's Parcel Numbers (list all parcels that pertain to the project): _____	
Pre-Application Conference Date: <u>5/24/14</u>	Planner: <u>Rt</u>
Pre-Application Conference attended by: <u>Rt - Thomas Wgs</u>	
Proposed Request: <u>1041 for water pipeline</u>	
Plan Area (if applicable): _____	Lot Size(s): _____
Related Files: _____	
Setback Information: _____	
Utilities: Water: _____	Sewer: _____ Fire: _____
Current Zoning: _____	Proposed Zoning (if applicable): _____

THIS SECTION IS FOR PLANNING STAFF TO COMPLETE FOR SENDOUT

PROJECT SENDOUT INFORMATION		
Project Title: _____	File #: _____	
Project Location Description: _____		
Request (Project Description): _____		
Site Access: _____		Trips Generated by Proposal: _____
Proposed Use: _____		Notification Area: _____
Schedule for Hearing? <u>Yes</u> <u>No</u> Hearing Date: _____		Planner: _____

Received By: _____	Date: _____	Sign Given: _____	Paid \$: _____	Check #: _____
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Section 2 Project Description

2.a General Description, Including Purpose and Need for the Project

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 2, and the criteria and standards described in LUC Sections 8.15, 8.16, and 12.1.B.

2.a.1 Purpose and Need

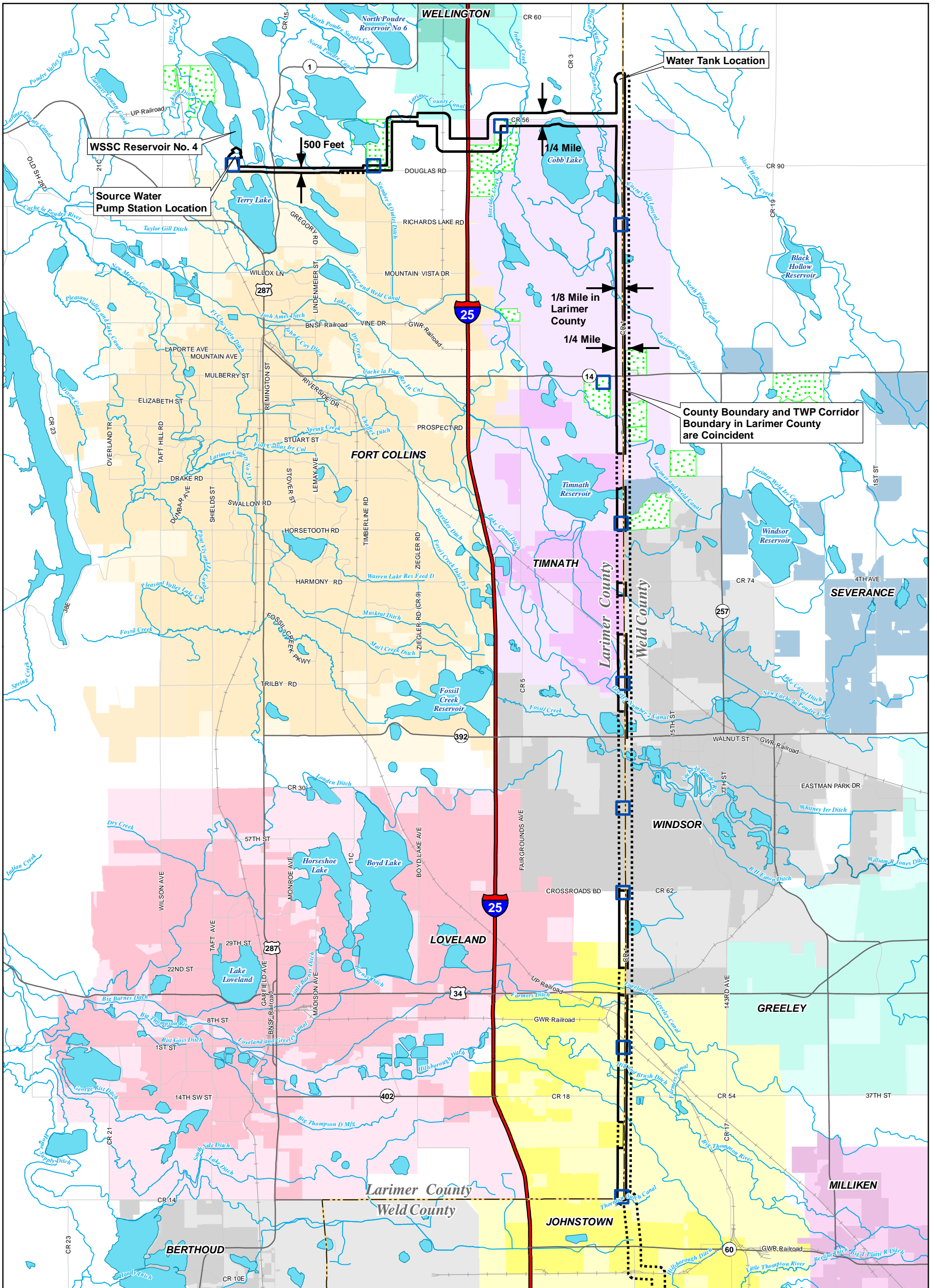
The purpose of the TWP is to convey domestic water from the WSSC system purchased by Thornton in the mid-1980's to enhance Thornton's water supply reliability and drought resiliency, help address source water quality issues, and meet municipal and industrial demands of Thornton's water customers through 2065.


Thornton's population is projected to increase from its current estimated population of 136,574 residents (City of Thornton, Third Quarter 2017, Population Estimate and Housing Inventory Report) to 242,000 residents by 2065. Thornton has proactively planned for the anticipated population increase to ensure that Thornton can provide a reliable, high quality, and economical water supply to meet the needs of its residents and businesses. Thornton's existing water system, including an extensive water conservation program, has served to meet municipal and industrial water needs of Thornton's current water customers in its service area, as well as to meet existing contractual obligations. Thornton water supply projects in development will allow Thornton to provide water service up to a population of 158,000 residents. Beyond 158,000 residents, which Thornton projects to reach by 2025, additional water supplies are needed to ensure reliable water service to Thornton's water customers. Water from the WSSC system in Northern Colorado purchased by Thornton in the mid-1980's from willing sellers has been decreed in Water Court for use in Thornton, but Thornton currently lacks the infrastructure to deliver that water to Thornton. The TWP will provide the necessary infrastructure for delivery of this water to Thornton, and provides the means by which Thornton's customers will receive the benefit of Thornton's decades-long planning for and investment in this additional water supply. The TWP is being configured to deliver an average of 14,000 acre-feet of water annually, which is sufficient to meet the municipal and industrial demands of Thornton's water customers through 2065. In addition to meeting water demand, in adding this high quality source the TWP provides diversity, enhanced water supply reliability, quality and drought resiliency to Thornton's supply.

2.a.2 General Description

Thornton is proposing to construct, operate, and maintain the TWP, which includes up to approximately 26 miles of a buried 48-inch water pipeline and associated appurtenances in unincorporated Larimer County, Colorado. The TWP is a water delivery system that will convey domestic water from the WSSC system purchased by Thornton in the mid-1980's to Thornton. **Figure 2.a-1** shows the TWP corridor from the WSSC system to the southern Larimer County border (County Road 14) at County Road 1 and includes the corridor in both Larimer and Weld Counties.

Thornton Water Project






**CITY OF THORNTON
COLORADO**

12450 WASHINGTON ST
THORNTON, CO 80241-2405

12/29/2017



1 inch = 1.8 miles

0 0.9 1.8 Miles

<ul style="list-style-type: none"> TWP Corridor in Unincorporated Larimer County TWP Corridor outside Unincorporated Larimer County Railroad Thornton Farm County Boundary Lake/Reservoir River/Stream/Canal/Ditch Potential Staging Area 	<p>Boundaries Crossed by the Proposed Corridor</p> <table border="0"> <tr> <td style="background-color: #fff3cd; width: 15px; height: 10px; margin-right: 5px;"></td> <td>Fort Collins</td> </tr> <tr> <td style="background-color: #fff3cd; width: 15px; height: 10px; margin-right: 5px;"></td> <td>Johnstown</td> </tr> <tr> <td style="background-color: #fff3cd; width: 15px; height: 10px; margin-right: 5px;"></td> <td>Loveland</td> </tr> <tr> <td style="background-color: #fff3cd; width: 15px; height: 10px; margin-right: 5px;"></td> <td>Timnath</td> </tr> <tr> <td style="background-color: #fff3cd; width: 15px; height: 10px; margin-right: 5px;"></td> <td>Wellington</td> </tr> <tr> <td style="background-color: #fff3cd; width: 15px; height: 10px; margin-right: 5px;"></td> <td>Windsor</td> </tr> </table>		Fort Collins		Johnstown		Loveland		Timnath		Wellington		Windsor	<p>Corporate Boundary</p> <table border="0"> <tr> <td style="background-color: #fff3cd; width: 15px; height: 10px; margin-right: 5px;"></td> <td>Fort Collins</td> </tr> <tr> <td style="background-color: #fff3cd; width: 15px; height: 10px; margin-right: 5px;"></td> <td>Johnstown</td> </tr> <tr> <td style="background-color: #fff3cd; width: 15px; height: 10px; margin-right: 5px;"></td> <td>Loveland</td> </tr> <tr> <td style="background-color: #fff3cd; width: 15px; height: 10px; margin-right: 5px;"></td> <td>Timnath</td> </tr> <tr> <td style="background-color: #fff3cd; width: 15px; height: 10px; margin-right: 5px;"></td> <td>Wellington</td> </tr> <tr> <td style="background-color: #fff3cd; width: 15px; height: 10px; margin-right: 5px;"></td> <td>Windsor</td> </tr> </table>		Fort Collins		Johnstown		Loveland		Timnath		Wellington		Windsor
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	Windsor																									

**Figure 2.a-1
TWP Corridor Map**

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, City of Thornton

TWP Corridor

Thornton is seeking approval for an approximate 500-foot to ¼-mile wide corridor for TWP components in unincorporated Larimer County. The final water pipeline alignment within the Larimer County approved corridor will be developed during final design. Typically a 50-foot permanent easement for the water pipeline and an additional 40-foot temporary easement for construction will be purchased from property owners except where the TWP will be constructed in road right-of-way (ROW). The TWP corridor width varies to allow for flexibility when developing the final water pipeline alignment and location of appurtenances. TWP corridor limits are shown on **Figure 2.a-1**. Areas bounded by a dashed line show the corridor outside of unincorporated Larimer County. For information on the TWP corridor development process, see **Appendix A**.

The east/west section of the TWP corridor is approximately 10 miles long, extending east in unincorporated Larimer County north of Fort Collins from WSSC Reservoir No. 4, then across Interstate 25 to Larimer County Road 1/Weld County Road 13 (County Road 1). The TWP corridor is 500-foot wide along Douglas Road to Larimer County Road 9. The TWP corridor is ¼-mile wide east of Larimer County Road 9 and generally follows roads and property lines.

The section of the TWP corridor that generally runs north/south in unincorporated Larimer County is ½-mile wide and approximately 16 miles long. The TWP corridor follows County Road 1 from just south of County Road 58 to County Road 14. County Road 1 is the Larimer County/Weld County line and the full ¼-mile wide TWP corridor is centered on the County line, encroaching ½-mile into each county. The TWP corridor continues south of County Road 14 into Weld County and then into Adams County where it terminates at the Thornton water treatment plants.

Portions of the TWP corridor include approximately 10 ½ miles in incorporated areas of Fort Collins, Johnstown, Timnath, or Windsor, including roads that have been annexed by local governments.

As discussed during the Pre-Application Conference for the project, Larimer County's process can accommodate a corridor approach for the Application. Seeking permit approval for the TWP corridor will:

- Allow the continued efficient integration of the TWP into planned future county or municipal developments within the approved corridor through continuing coordination and outreach meetings as the TWP is developed and implemented.
- Provide property owners greater flexibility in working with Thornton to locate the water pipeline within the approved TWP corridor that best meets property owners' preferences.

The process to develop a final water pipeline alignment route is iterative, and deviations may occur as a result of negotiations with individual property owners or if detailed land, utility, or resource surveys reveal engineering or environmental constraints. Outreach to property owners included a series of Open Houses conducted in November and December 2016, an outreach meeting with residents from the areas around WSSC Reservoir No. 4 in February 2017, and a Community Update meeting for area residents near Douglas Road conducted in September 2017. Additional information regarding the property owner outreach is included in Section 2.k and **Appendix B**. If, following approval by the Larimer County Board of County Commissioners, the water pipeline alignment is required to extend outside of the approved corridor, Thornton will consult with the Larimer County Planning Department. After approval of a 1041 permit, alignment refinements within the TWP corridor are not anticipated to result in substantive changes to potential impacts associated with the proposed TWP and are not expected to require additional Larimer County approval under Larimer County's 1041 permit process.

TWP Components

TWP components within the TWP corridor in unincorporated Larimer County include the following:

- **Water pipeline.** Up to approximately 26 miles of a buried, 48-inch diameter water pipeline capable of conveying 40 mgd of water will be constructed in unincorporated Larimer County. The water pipeline will be buried at a minimum depth of 4 feet below grade. The depth of bury will vary based on existing utility crossings, road crossings, water crossings, other existing or proposed features, and property owner preferences. Typically, a 50-foot permanent easement for the water pipeline and an additional 40-foot temporary easement for construction will be purchased from property owners except where the TWP will be constructed in road ROW. Where the TWP corridor parallels Douglas Road and County Road 56, the water pipeline is proposed to be located in the Larimer County ROW where feasible and as approved by Larimer County. However, if the location of the water pipeline cannot be accommodated in the Douglas Road or County Road 56 ROW, easements will be purchased from property owners to locate the water pipeline on private property.
- **Appurtenances**
 - **Source water connection.** Two buried valve vaults will be constructed to connect the TWP to two existing outlet pipelines at WSSC Reservoir No. 4.
 - **Water tank.** An approximate 1 million gallon water tank will be constructed. The water tank will require an approximate 2-acre site for the approximate 85-foot diameter, 24-foot tall steel water tank. Land will be purchased from property owners for this appurtenance. The water tank is planned to be painted a shade of tan to blend into the surrounding area. Gravel access will be constructed and the remaining disturbed area, including vegetation, will be restored to pre-construction conditions. Lighting will be installed for security and will comply with LUC Section 8.15 and other applicable regulations. Security fencing will be located around the perimeter of the site and will comply with LUC Section 8.16. An example photo of a similar tank is shown in **Figure 2.a-2**.



FIGURE 2.a-2
Example Appurtenance: Water Tank

- Communications. Up to approximately 26 miles of buried fiber optic cable, including buried manholes, test stations, and other fiber optic cable appurtenances will generally parallel the water pipeline in unincorporated Larimer County. The fiber optic cable will be installed in close proximity to the water pipeline. The fiber optic cable will allow Thornton to remotely communicate with and operate the TWP. The cable will be buried at a minimum depth of 3 feet below grade. The depth of bury will vary based on existing utility crossings, road crossings, water crossings, or other existing or proposed features, and property owner preferences.
- Other Appurtenances. Various buried water pipeline appurtenances and structures, including access manways, blow-off assemblies (used to drain the water pipeline), combination air release valve vaults (used to exhaust air when filling the water pipeline and admitting air during draining operations), and isolation valve vaults, will be constructed. Photographs of example appurtenances and structures are shown in **Figure 2.a-3**. The size of structures and interior components of manholes and vaults will be designed specifically for the TWP and could vary from the description. Additional permanent and temporary easements could be obtained for these appurtenances.



Combination Air Release Valve Vault. Photo of combination air release valve vault after construction. Vault is a concrete vault, buried below grade. Vault houses air release valves and an access manway. Visible features include the air vent, access hatch, and valve box markers.

Isolation Valve Vault. Photo of isolation vault after construction. Vault is a concrete vault, buried below grade. Vault houses an isolation valve, air release/vacuum valves, and miscellaneous piping. Visible features include the air vent, access hatches, and valve box markers.

Blow-off Assembly with Discharge Structure. Photo of blow-off manhole, pump well manhole, and dissipation structure after construction. The blow-off manhole is a concrete manhole that houses a blow-off drain valve. The pump well manhole is a concrete manhole that houses a pump out pipeline. The dissipation structure is a concrete structure located at grade. Visible features include the air vent, dissipation structure, manhole covers, and valve box markers.

Blow-off Assembly with Pump Out. Photo of blow-off manhole and pump well manhole after construction. The blow-off manhole is a concrete manhole that houses a blow-off drain valve. The pump well manhole is a concrete manhole that houses a pump out pipeline. Visible features include the air vent, manhole covers, and valve box markers.

FIGURE 2.a-3
Example Buried Appurtenances

The TWP appurtenances also include an approximate 40-mgd source water pump station located near WSSC Reservoir No. 4. The source water pump station will require an approximate 2-acre site with up to an approximate 10,000 square-foot building to house pumps and associated equipment. An emergency backup diesel generator might be located outside of the source water pump station, if a second independent power source is not included. Thornton contacted Poudre Valley Rural Electrical Association (PVREA) to determine if current infrastructure in the area supports the proposed load, and they confirmed sufficient power is available in the area to supply the source water pump station. In addition, it may be possible for PVREA to extend a second, redundant power feed to the source water pump station for emergency backup power. If a second feed is feasible and cost-effective, an emergency diesel powered backup generator will not be required. Thornton will continue to coordinate with PVREA to determine specific requirements for power service to the source water pump station.

Lighting for the source water pump station will be installed for security and will comply with LUC Section 8.15 and other applicable regulations. A lighting plan will be submitted to Larimer County with the Site Plan Review Permit application. Security fencing will be installed around the perimeter of the site. The access driveway and parking areas are anticipated to be gravel. Land will be purchased from property owner(s) for the source water pump station.

As discussed with Larimer County Planning staff at the Pre-Application Conference, the source water pump station is not part of this Application, but will be separately permitted through the Site Plan Review permit process. Information on the source water pump station provided in this Application is of a general nature and is included to present a more complete scope of the TWP. To date no design has been completed for the source water pump station and Thornton will submit a Site Plan Review permit application to Larimer County in accordance with LUC Section 6.0. At the request of Larimer County staff, examples of existing pump stations are shown in **Figure 2.a-4**. During design, Thornton will consider input and suggestions on the design and architecture for the source water pump station that reduce the visual impacts of the facility.



FIGURE 2.a-4
Example Pump Stations

Final Water Pipeline Alignment Design Criteria

During the Pre-Application Conference with Larimer County, Larimer County staff requested that the Application include design criteria that will be used for the selection and development of the final water pipeline alignment location within a Larimer County approved corridor. The majority of the TWP corridor follows the Larimer/Weld County line along County Road 1. It is anticipated that the water pipeline alignment will cross back and forth over the County line to accommodate property owner preferences where practicable and to meet water pipeline alignment design criteria.

Where practicable, water pipeline design criteria are as follows:

- Be outside the current and future planned road ROW unless otherwise approved by Larimer County. Where the corridor parallels Douglas Road and County Road 56, the water pipeline is proposed to be located in Larimer County ROW where feasible and as approved by Larimer County.
- Be adjacent to roads, current or future ROW, existing utility easements, and property lines.
- Utilize Thornton-owned property within the corridor.
- Minimize impacts to agricultural use.
- Minimize impacts to existing structures.
- Cross waters, irrigation ditches, roads, and railroads perpendicular to the feature.
- Minimize road crossings.

- Minimize impacts to environmental and cultural resources.
- Minimize impacts to open lands/conservation easements.

Land Acquisition

Thornton will typically acquire non-exclusive permanent easements for installation, operation, and maintenance of the water pipeline and appurtenances. The typical permanent easement width is anticipated to be 50-feet wide, and the typical temporary construction easement is anticipated to be an additional 40-feet in width as shown on **Figure 2.a-5**. The final alignment of the water pipeline is subject to negotiation with individual property owners. Thornton’s land services representatives will work with property owners along the TWP corridor to explain water pipeline construction, operations, and maintenance activities and to negotiate the purchase of easements where needed based on fair market value. The easements will grant Thornton an area to construct, operate, and maintain the water pipeline, and property owners will maintain fee title to the land. Property owners who grant a permanent easement to Thornton can continue to use the land within the easement area for purposes such as farming, grazing, or access, so long as such uses do not interfere with or endanger the operation of the TWP. The predominant land use in the TWP area, agricultural use, is compatible with operation of the TWP because the water pipeline and fiber optic cable will be buried below the plow line. The buried water pipeline and fiber optic cable are compatible with other land uses, such as residential use, that the TWP corridor crosses. As discussed with Larimer County Planning staff at the Pre-Application Conference, Thornton will supply final alignment and construction plans to Larimer County prior to construction to meet 1041 permit site map requirements. Construction plans are anticipated to be delivered in multiple packages.

Land for the source water pump station and water tank will be purchased from individual property owner(s). It is anticipated that up to 2 acres will be required for each site. Thornton’s land services representatives will work with property owner(s) to negotiate purchase of land. This could require land division of property. Thornton will follow the appropriate Larimer County Land Division process.

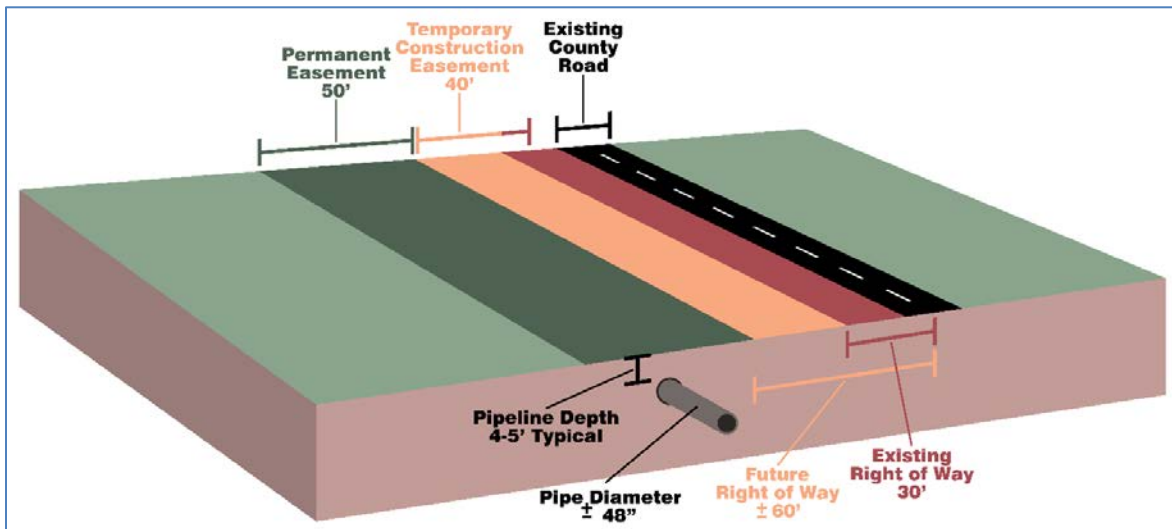


FIGURE 2.a-5
 Typical Easements

Construction Activities

Construction activities in Larimer County are proposed to begin in 2019, and operation of the TWP is scheduled to begin in 2025. Work on multiple construction packages including the water pipeline, trenchless water pipeline, source water pump station, and water tank may occur concurrently with multiple crews of 10 to 55 workers each. At the peak of construction, approximately 80 to 100 workers could be required at multiple sites along the TWP. Construction work hours will typically be from 7 a.m. to 7 p.m. Monday through Saturday unless otherwise approved by Larimer County. Construction may extend beyond these hours on an as-required and case-by-case approved basis. For example, some construction activities, such as hydrostatic testing, require 24/7 operation, and shift work may be required. However, shifts are not anticipated for construction on a day-to-day basis.

The following are major activities involved in construction in typical sequence:

- Traffic control installation
- Survey
- Stormwater best management practice (BMP) and access installation
- Site clearing
- Stage materials/staging area setup
- Excavate the water pipeline trench/bore pit
- Water pipeline installation
- Backfill the trench/bore pit
- Conduct pressure testing
- Clean up
- Restore ground surface
- Road restoration
- Revegetation
- Ongoing stewardship

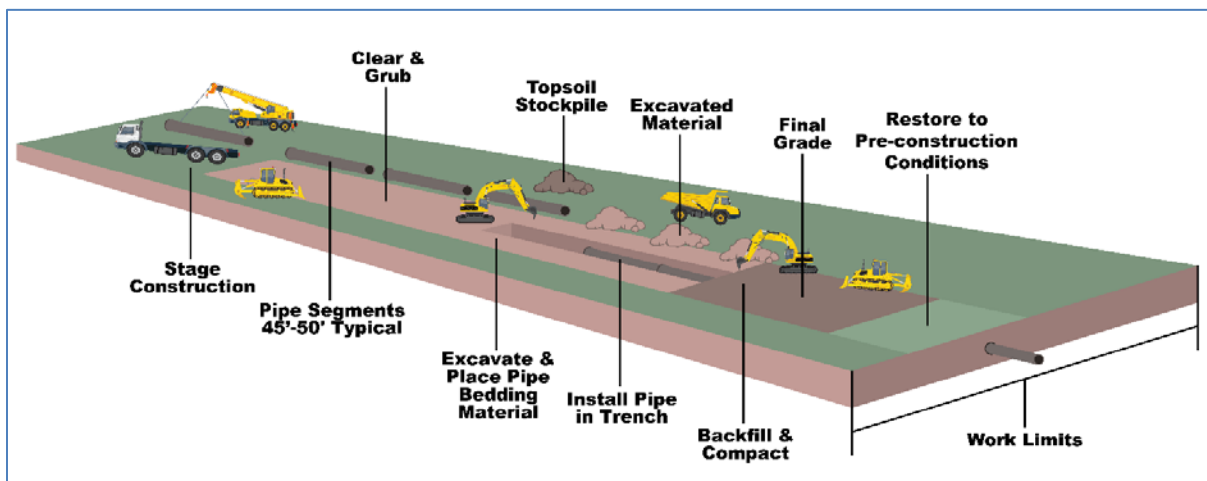


FIGURE 2.a-6
Construction Activities

Traffic Control Installation

Prior to work in the ROW, traffic control measures will be implemented. Thornton places a high priority on safety during construction. TWP contractors will implement traffic management plans based upon local traffic control requirements and general safe operating practices. Thornton and/or the TWP contractors will develop traffic control plans that include adequate levels of service and safety measures for construction. Proper signage, flaggers, lighting, speed limits, work hours, postings, notifications, and other precautionary safety measures will be taken to protect the residents of Larimer County and the TWP contractors' employees. Access will be maintained to local area residents. Emergency vehicle access needs will be maintained and construction activities coordinated with local fire departments, police departments, ambulance services, and other emergency responders as necessary.

Survey

The water pipeline location will be surveyed and staked to ensure that the water pipeline will be installed as indicated on the contract documents. Work limits will also be surveyed to establish the boundaries that the contractor is allowed to work in. Work limits include the permanent and temporary construction easements and the Larimer County approved ROW.

Stormwater BMP and Access Installation

Surface drainage stormwater BMPs will include application of erosion control techniques and the successful revegetation of disturbed areas. The required Colorado Department of Public Health and Environment (CDPHE) construction stormwater permits and stormwater management plans (SWMPs) will include detailed descriptions of BMPs that will be used to protect surface hydrology and water quality.

Thornton will obtain access permits from Larimer County or other agencies for any necessary temporary or permanent access locations as applicable. Stabilized construction entrances/exits will be installed for access from existing roads. Access for the water tank will include a permanent gravel access.

Site Clearing

After stormwater BMPs are in place, ground disturbing activities will commence. This includes clearing and grubbing the site. As applicable, pavement and vegetation will be removed from the site and will be properly disposed of. If top soil exists, it will be removed and stockpiled separately away from other excavated material.

Surface disturbance for the TWP will be limited to the ROW, the permanent and temporary easements, and land purchased from individual property owners for the source water pump station and water tank.

Stage Materials/Staging Area Setup

At this time, Thornton anticipates using up to 11 temporary staging areas within unincorporated Larimer County during construction of the TWP. These staging areas are anticipated to each require approximately 2 acres of land. Staging areas will be used for material storage, parking, equipment storage, field offices, and storage of excavated materials. Parking and vehicle storage during construction will be primarily on property within the permanent or temporary easement or at temporary staging areas. Thornton owns multiple properties in the area that can be utilized for parking and staging, and additional temporary staging areas will be obtained as needed. Thornton

will comply with LUC Section 4.3.11, Temporary Uses and other applicable regulations regarding material storage, transport, and land use.

Thornton plans to off-load and temporarily store the water pipeline along the easement as it is delivered when possible to reduce the number of trips required for material delivery until the water pipeline is placed in its permanent buried location. If needed, stockpiling of pipe could take place within the temporary and permanent easement or at temporary staging areas. Stockpiling in lieu of stringing the water pipeline will only be conducted where additional space is required.

Preliminary anticipated staging locations in and outside of unincorporated Larimer County are shown on **Figure 2.a-1**. Some of these areas could be used for stringing water pipeline or as temporary staging areas. Thornton will negotiate with property owners or agencies for the short-term use of temporary staging areas. TWP contractors could negotiate agreements with property owners for additional staging areas if additional area is required for construction operations as determined by TWP contractors.

Excavate the Water Pipeline Trench/Bore Pit

It is anticipated that excavated material will be temporarily stored within the permanent or temporary easement adjacent to the trench. Topsoil will be stripped and stored separately from excavated trench materials. If additional space is required, excavated materials could be stored in temporary staging areas.

Water Pipeline Installation

It is anticipated that both open-cut and trenchless construction methods will be used for water pipeline installation. Whether employing open-cut or trenchless construction methods, the installation and construction methods employed will follow standard industry practices designed to produce a safe, environmentally sound, and quality operation.

For open-cut construction, the water pipeline trench is anticipated to be a minimum of 8 ½ feet deep with an approximate top width of approximately 19 feet. The water pipeline will sit at least 4 feet below the final grade. A typical trench profile and easement section abutting future road ROW is shown in **Figure 2.a-7**.

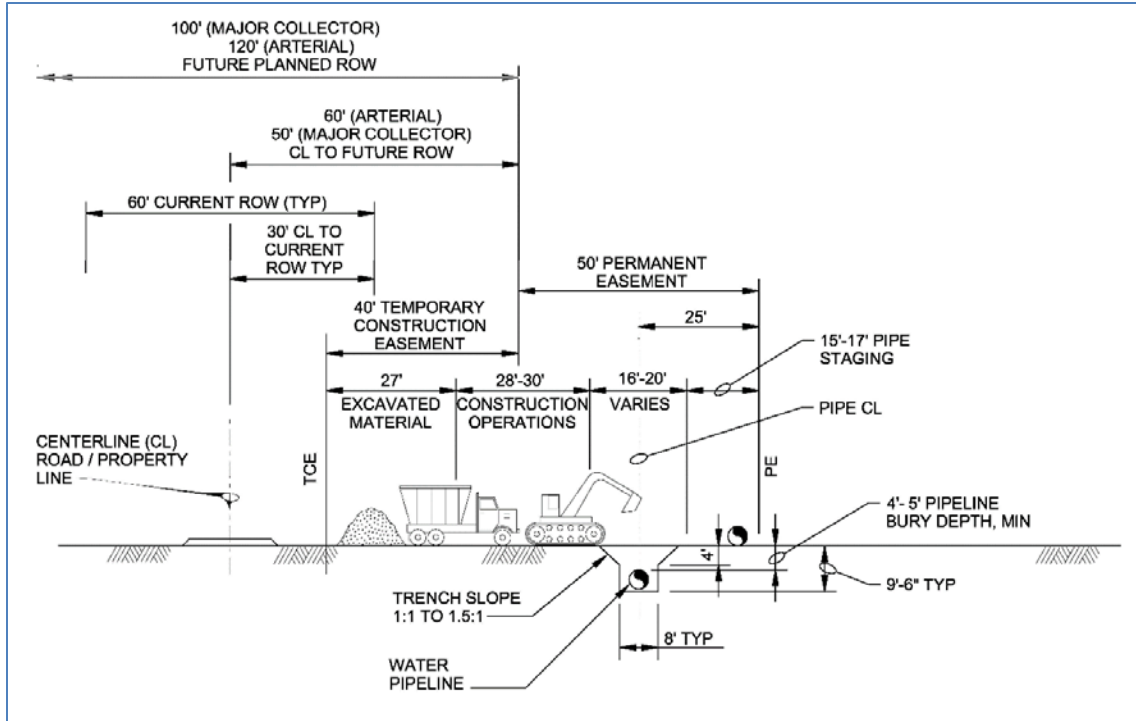


FIGURE 2.a-7

Example Open-Cut Construction Section

Trenchless construction methods could include methods such as tunneling or auger boring techniques to install the water pipeline. This means of construction is used to minimize ground disturbance at locations such as road crossings and environmentally sensitive areas including Waters of the United States (WOTUS) (jurisdictional waters), and irrigation ditches. After BMP installation, clearing and grubbing, and delivery of materials to the tunneled location, a bore pit will be excavated on one side of the area to be tunneled and a receiving pit will be excavated on the opposite side. The water pipeline will be tunneled from the bore pit to the receiving pit. It is anticipated that the water pipeline will typically be installed inside a steel casing pipe that is itself installed using trenchless construction methods. The casing pipe will be approximately 12 to 18 inches larger in diameter than the water pipeline and will normally be buried at a depth approximately 2 times the diameter of the casing, which will be approximately 10 to 11 feet below the lowest final grade elevation. Settlement monitoring will be conducted along the trenchless route to confirm that settlement has not occurred.

Thornton will consult with affected property owners, Larimer County, and applicable agencies such as the U.S. Army Corps of Engineers (USACE) to determine where trenchless construction methods are needed.

Table 2.a-1 presents the probable water pipeline installation construction methods that are expected to be utilized at existing features.

TABLE 2.a-1
Probable Water Pipeline Construction Method at Defined Existing Features

Existing Feature Crossing	Probable Water Pipeline Installation Construction Method	Comment
Jurisdictional Waters	Trenchless Construction	USACE will be consulted prior to construction, and concurrence with USACE will be obtained that no permit is required for crossing.
Federal Interstates and State Highways	Trenchless Construction	A Colorado Department of Transportation Utility/Special Use Permit will be obtained prior to construction.
Railroads	Trenchless Construction	License agreements will be obtained from the railroad owners as required.
Irrigation Ditches	Open-Cut or Trenchless as Directed by the Ditch Company or Other Requirements	Crossing agreements will be obtained from the ditch company. Coordination with the ditch owner will take place to minimize impacts to ditch operations.
Larimer County Roads	Open-Cut or Trenchless as Required by Larimer County	Larimer County approval and permits will be obtained prior to construction. The TWP will adhere to Larimer County standards.
Driveways within Property	Open-Cut or Trenchless as Negotiated with Property Owner	Timing of constructing driveway crossings will be coordinated with property owner.
Existing Utilities	Open-Cut Construction	License agreements/permits will be obtained as required from utility owner. Minimum clearance requirements will be determined during final design.
Floodplains	Open-Cut Outside Jurisdictional Waters and Trenchless within Jurisdictional Waters	Floodplains typically extend outside the jurisdictional water (ordinary high water mark). Areas outside the jurisdictional water could be constructed using open-cut construction methods.

*Where the corridor parallels Douglas Road and County Road 56, the water pipeline is proposed to be located in the Larimer County ROW where feasible and as approved by Larimer County, and the water pipeline is anticipated to be installed utilizing open-cut construction methods.

Construction of the water tank and source water pump station are anticipated to be included with one of the water pipeline construction packages.

Backfill the Trench/Bore Pit

After the water pipeline is installed, the trench/bore pit will be backfilled using appropriate backfill materials and compaction techniques, including use of a backhoe and vibration equipment to obtain proper soil compaction.

Conduct Pressure Testing

Hydrostatic pressure testing will be completed to verify that the water pipeline is capable of withstanding the designed maximum allowable operating pressure. It is anticipated that the water pipeline will be tested in sections. Where feasible, hydrostatic test water will be routed from one section of the water pipeline to another to recycle that water.

Clean Up

Clean up of areas disturbed during construction will be conducted prior to final grading and revegetation. Clean up includes removing:

- BMPs not needed for revegetation activities
- Excess materials
- Temporary fencing, if used
- Temporary facilities
- Large stones and other debris

Restore Ground Surface

Land will be restored to pre-construction grades.

Road Restoration

ROW will be restored to pre-construction conditions and in accordance with Larimer County standards or other standards as applicable.

Revegetation

Disturbed areas will be revegetated at the conclusion of construction. Certified weed-free seed mix consisting of drought-tolerant native grasses will be specified in the SWMP for the revegetation of disturbed areas to meet property owner preferences and regulatory requirements. Disturbed mature vegetation will be replaced, per a property owner's reasonable request, with a like species.

Ongoing Stewardship

Surface areas disturbed by construction will be monitored after construction and Thornton will continue to maintain the site until the area is restored to meet property owner preferences and regulatory requirements.

Timeframe

Construction activities in unincorporated Larimer County are proposed to begin in 2019, and are expected to last approximately 5 to 6 years with operation of the TWP scheduled to begin in 2025. Work on multiple water pipeline construction packages, trenchless water pipeline packages, source water pump station, and water tank may occur concurrently along the TWP corridor. Depending on the size and scope of individual construction packages, the timeframe to complete construction of a package could be multiple years. Section 2.j provides additional schedule information.

Operation and Maintenance Activities

The TWP facilities will be unmanned. Normal operations and maintenance activities could include TWP operators periodically traveling in a pickup truck along the water pipeline route visually inspecting the route. To the extent practicable, visual inspections could be from public roads to minimize impacts to property owners. Up to twice per year, it is anticipated that TWP operators will enter vault and manhole appurtenances to exercise valves and conduct routine maintenance of

equipment. TWP operators are also anticipated to conduct up to one visit per day of the source water pump station and water tank locations to inspect security of each facility. Typically, operation of the pump station, including video monitoring of site security, will be conducted remotely from another Thornton-owned facility.

2.b Location and Total Area of the Project

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 2.b.

In general, within unincorporated Larimer County, the TWP extends from WSSC Reservoir No. 4 east to Larimer County Road 1 and then follows County Road 1 from just south of County Road 58 to County Road 14. **Figure 2.a-1** shows the general location of TWP components. County Road 1 is the Larimer County/Weld County line. It is anticipated that the water pipeline alignment will cross back and forth over the county line as well as crossing multiple properties and municipalities. Outside of unincorporated Larimer County, the TWP continues south in Weld County to Thornton in Adams County.

The TWP begins at WSSC Reservoir No. 4 located approximately $\frac{3}{4}$ miles northwest of the intersection of Highway 1 and Douglas Road. The water pipeline will connect to the existing outlet pipelines at WSSC Reservoir No. 4. Thornton will proceed to obtain 50-foot wide permanent easements and 40-foot wide temporary construction easements for the water pipeline from property owners concurrently with design development. Additional easements could be required at appurtenance locations to be determined at the final design stage. The water pipeline and associated temporary staging areas are anticipated to require up to 135 acres for permanent easements and up to 130 acres for temporary construction easements within unincorporated Larimer County. These are approximate maximum amounts based on the TWP corridor length within unincorporated Larimer County. The total area of the TWP will depend on the final alignment established for the water pipeline.

The site for the water tank appurtenance will be located at or near the highest elevation point of the TWP, which is approximately $\frac{3}{4}$ miles north of the intersection of County Road 1 and County Road 56. The water tank site is anticipated to be approximately 2 acres. Larimer County's land division process for the water tank property will be followed after final siting is determined within the TWP corridor and Thornton has arranged for acquisition of the needed land. The location of other appurtenances will be developed during final design stage.

The source water pump station, which is not a part of this Application, will be located on approximately 2 acres south of WSSC Reservoir No. 4. Larimer County's land division process for the source water pump station property will be followed after final siting is determined within the TWP corridor and Thornton has arranged for acquisition of the needed land. Thornton will submit a Site Plan Review permit application to Larimer County for the source water pump station in accordance with LUC Section 6.0.

2.c Description of the Site Selection Process if Applicable

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 2.c, and the criteria and standards described in LUC Section 14.10.D.2.

Initial Proposed Corridor

Before to conducting public outreach, which is not required by Larimer County's 1041 permit application process, and in an effort to determine the alternative corridor least impactful to local communities in Northern Colorado, Thornton conducted a series of outreach meetings with local governments and agencies that could be impacted by the TWP. Input from local governments and

agencies was utilized in developing alternative corridors and identifying the initial proposed corridor.

An evaluation area was established for developing alternative corridors. The evaluation area consists of a 3- to 5 ½-mile wide path from WSSC Reservoir No. 4 to Adams County.

The evaluation area limits are described as follows:

- The east/west portion of the evaluation area is approximately 3 miles wide, centered near WSSC Reservoir No. 4. The evaluation area extends from Larimer County Road 19 east to Weld County Road 17 ½. The southern extent of the evaluation area is bounded by Douglas Road and the northern extent by Larimer County Road 60/Weld County Road 96.
- The north/south portion of the evaluation area is approximately 4 to 5 ½ miles wide. It extends from Larimer County Road 60/Weld County Road 96 south to 168th Avenue. The evaluation area is bounded by I-25 on the west and Weld County road 17 ½ on the east.

Alternative corridors within the evaluation area were identified using readily and publicly available geographic information system (GIS) data. Guidelines used to identify the alternative corridors include the following:

- Input from potentially affected local governments
- Minimizing impacts to ROW
- Minimizing impacts to water bodies and wetlands
- Bypassing geological hazardous areas
- Minimizing impacts to environmentally sensitive areas such as open space or conservation areas
- Minimize impacts to congested areas, typically in developed, densely populated areas
- Utilizing Thornton-owned property
- Following ROW/easements/property lines

Four ¼-mile wide alternative corridors were initially developed based on input received from local government outreach. These four alternative corridors were analyzed using non-economic data to determine the initial proposed corridor. The non-economic criteria and method of measurement used in the evaluation of alternative corridors included the following:

- Local Government Preference - Rating based on compliance with local government preferences
- Geologic Hazards - Estimated length within areas identified as having mine subsidence
- Community Impact- Number of local governments crossed
- Wetland/Riparian Crossing - Estimated length of wetland/riparian areas crossed
- Floodplain Crossings - Estimated length of floodplain areas crossed
- Parcel Owners - Number of unique parcel owners crossed
- ROW - Estimated possible length of water pipeline in ROW

Information regarding the initial proposed corridor alternative analysis and selection process is included in *Technical Report, Thornton Water Project, Reach 2 Alternative Corridors Analysis*, September 2016 (see **Appendix A**).

The location of the initial proposed corridor was based on the TWP purpose and need, as well as information and guidance received from Larimer County Public Works and Planning staff, the city of Fort Collins, and others. The initial proposed corridor was presented to area residents during public open houses (in the fourth quarter of 2016) and at an outreach meeting with residents requested by

the residents from the areas around WSSC Reservoir No. 4 (in the first quarter of 2017). At these meetings, residents requested that Thornton look at additional alternative water pipeline alignments and pump station locations. Subsequent to these meetings with area residents, Thornton met with Larimer County staff to discuss the concerns and requests of the residents, and Larimer County staff provided guidance for the Application for the TWP.

TWP Corridor

Larimer County staff requested that Thornton propose a preferred alignment with a 500-foot wide corridor for the TWP in the area around the WSSC Reservoirs and east to Larimer County Road 9. The 500-foot wide corridor allows flexibility in locating the water pipeline during final design of the TWP, and future action or approval by Larimer County under the Larimer County’s 1041 permit process should not be required so long as the water pipeline is installed within the 500-foot wide corridor. The final water pipeline alignment route will be developed during final design. Typically, a 50-foot permanent easement and an additional 40-foot temporary easement for construction will be purchased from property owners except where the TWP will be constructed in the road ROW.

Larimer County staff requested that an analysis of alternative water pipeline alignments and pump station locations be included in the Application. Larimer County staff indicated that the alternative analysis should be conducted from the connection to the WSSC system to approximately County Road 9. No revisions to the initial proposed corridor east of County Road 9 were required, and Thornton understands that the 1/8 to 1/4-mile corridor continues to be acceptable for the Application.

After receiving input from area residents and adopting the *Larimer County Transportation Master Plan* in the third quarter of 2017, Larimer County staff indicated that locating the water pipeline in Larimer County road ROW may be allowed at some locations. Thornton understands that, if the water pipeline is to be located in Larimer County ROW other than as specifically approved in a 1041 permit, then use of that ROW will require Larimer County approval.

Based on the guidance from Larimer County staff, an analysis of alternative water pipeline alignments and pump station locations was completed and included in *Technical Memorandum, Thornton Water Project, Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9, October 2017 (Appendix A)*. Ten alternative configurations were analyzed using evaluation criteria and comparative cost estimates. The locations of the ten alternative configurations were based on the TWP purpose and need. Common concerns communicated to Thornton during the public open houses, the outreach meetings, and meetings with Larimer County staff were considered in the development of evaluation criteria. The evaluation criteria and method of measuring the criteria used in the analysis included the following:

- Residential - Number of homes within 250 feet of the proposed water pipeline alignment location within an easement (does not include water pipeline in the ROW, WSSC or Thornton-owned property).
- Pump Station Visual/Noise/Vibration –
 - Visual: Number of homes within 1/2-mile of pump station with probable line of sight.
 - Noise and Vibration: Number of homes within 250 feet of pump station, within 251-500 feet, within 501-1,000 feet.
- TWP Operations - Length of road in feet within a residential area required to drive to access pump station plus length of easement in feet on private property.
- Traffic - Ratio of length in feet to the estimated relative production factor to install the pipeline within the ROW multiplied by average daily traffic (ADT) volume plus ratio of length in feet to

the estimated relative production factor adjacent to the ROW multiplied by 25 percent of the ADT.

- Environmental - Estimated acres crossed identified as riparian and/or populated with trees.
- Coordinated Projects Opportunity - Shared length in feet of possible coordinated projects to minimize community impacts multiplied by the possible number of projects TWP can coordinate with.

The TWP proposed preferred alignment in the area around the WSSC Reservoirs and east to Larimer County Road 9 presented for approval in this Application is a 500-foot wide corridor that had the best scoring based on the analysis of alternatives.

2.d Description of Other Alternatives Considered, or Explanation of Why No Reasonable Alternatives are Available

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 2.d, and the criteria and standards described in LUC Section, 14.10.D.2.

As described previously, four alternative corridors were evaluated to determine an initial proposed TWP corridor and ten alternative configurations were analyzed to develop the TWP corridor presented for approval in this Application. Descriptions and figures showing the alternatives are found in **Appendix A**.

Water Tank Appurtenance

The water tank will be located at the high point in the TWP corridor to provide for gravity flow of water for the greatest length of pipe.

Source Water Pump Station

The source water pump station will be located near the source water connection appurtenance in order to be able to pump the source water to the TWP water tank. Five source water pump station locations were analyzed with the ten alternative configurations analysis described previously and is included in *Technical Memorandum, Thornton Water Project, Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9 (Appendix A)*.

2.e Description of the Features of the Project that Make It Consistent with the Intent of the Master Plan and Any Applicable Intergovernmental Agreements Affecting Land Use and Development

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 2.e, and the criteria and standards described in LUC Sections 4.2.2, 8.1 through 8.5, 8.8, 8.11, 8.12, 8.15, 12.1.B, 14.10.D.1, and 14.10.D.3 through 14.10.D.11.

Larimer County adopted a Master Plan in 1997 to guide land use and development in unincorporated Larimer County (Larimer County 1997). The TWP is consistent with applicable Larimer County Master Plan policies and their associated lists of goals regarding the following:

- Chapter 2, Growth Management
- Chapter 3, Land Use
- Chapter 4, Public Facilities and Services
- Chapter 5, Transportation
- Chapter 6, Environmental Resources and Hazards

The TWP is consistent with the Intergovernmental Agreements (IGA) and plans listed below:

- IGA for Growth Management City of Loveland, Colorado and Larimer County, Colorado approved January 12, 2004 (IGA Larimer County/Loveland)
- IGA (Regarding Cooperation on Managing Urban Development) by and between Larimer County, Colorado and the town of Windsor, executed January 8, 2001 (IGA Larimer County/Windsor)
- Larimer County Open Lands Master Plan (Larimer County, June 2015)
- Larimer County Transportation Master Plan (Larimer County, July 2017)

2.e.1 Larimer County Master Plan

The Larimer County Master Plan contains policies to guide land use within unincorporated areas of Larimer County. Many of the policies are directed toward residential development, transportation, or other areas not directly related to the TWP. For this reason, the following discussion addresses only those land use and other policies relevant to the TWP. The information provided herein demonstrates that the TWP is consistent with the goals and policies of the Larimer County Master Plan.

Larimer County Master Plan, Chapter 2 – Growth Management

The growth management (GM) process established in the Larimer County Master Plan is designed to ensure that Larimer County operates within its resources, protects the environment, and enhances the lives of Larimer County residents.

No long-term effects resulting from the TWP are anticipated to the following:

- The volume of traffic on local streets
- The use of local utilities
- The need for additional law enforcement or fire protection
- Sensitive biological resources
- Agricultural lands

The Larimer County policies related to growth management are discussed below.

GM-1 Larimer County shall plan for long-term growth and physical expansion based on environmental, land use, community design, and infrastructure considerations.

The TWP minimizes effects on the environment, land use, and community resources. The TWP will utilize trenchless construction methods for water pipeline installation to minimize impacts to natural resources such as jurisdictional waters and wildlife habitat associated with those areas. The area disturbed in constructing the water pipeline will be restored to pre-construction conditions, including grade and vegetation, minimizing long-term impacts to wildlife. Trenchless construction methods will also be used at major road crossings as required by the regulatory agencies having jurisdiction of the road to minimize impacts to traffic and public safety.

The majority of the TWP corridor is located in rural land use areas. The water pipeline and fiber optic cable will be buried, and effects on agricultural use will be minimal. Agricultural use within the permanent easement may continue after construction. The buried water pipeline and fiber optic cable are compatible with other land uses, such as residential use, that the TWP corridor crosses.

Where the corridor parallels Douglas Road and County Road 56, the water pipeline is proposed to be located in the Larimer County ROW where feasible and as approved by Larimer County. The TWP

was reviewed in conjunction with the area goals and transportation improvement plans outlined in the *Larimer County Transportation Master Plan*, adopted in July 2017. The *Larimer County Transportation Master Plan* identifies multiple road improvement projects within the area along the TWP corridor. Thornton will coordinate design efforts with Larimer County improvement projects to minimize conflicts with future plans. If Larimer County's improvement projects occur within the timeframe of the construction of the TWP, Thornton will work with Larimer County and other involved parties to coordinate construction and minimize disruption. The *Larimer County Transportation Master Plan* includes planned improvements for Douglas Road within the TWP corridor. To the extent feasible, Thornton will coordinate TWP construction activities with Larimer County's planned improvements for Douglas Road.

Thornton has met with local governments along the TWP corridor to coordinate the TWP with future long-term community design plans, including plans within Growth Management Areas (GMAs) and Transportation Master Plans. The TWP corridor was developed based on input received in multiple rounds of local government outreach.

GM-2 Service demands of new development shall not exceed the capacities of existing roads and streets, utilities or public services.

During construction, water may be purchased from local water providers for construction activities such as watering the site to minimize fugitive dust or hydrotesting the water pipeline. TWP Contractors will provide bottled water, water cooler service, or other temporary sources of drinking water during construction. Portable toilets will be used during construction. No additional level of service from Larimer County is anticipated to be required.

The existing road network has adequate capacity to serve anticipated construction traffic needs. See the traffic narrative in Section 8, Technical Reports, 8.d Traffic Impact Study for impacts to traffic volumes during construction.

After construction, the TWP facilities may operate year-round, 24 hours of a day; however, the facilities are intended to be unmanned. The source water pump station and water tank will be monitored and operated remotely, inspected daily, and repaired and maintained as needed. The existing road network has adequate capacity to serve anticipated operational traffic needs. It is anticipated that TWP operators could visit these facilities daily to check operations. These checks entail one pickup truck accessing the source water pump station and water tank site, and driving along the water pipeline corridor for inspection and maintenance activities. Consequently, there will be minimal effects on the volume of traffic on local streets. See Section 8, Technical Reports, 8.d Traffic Impact Study for additional information.

The unmanned facilities are not anticipated to require any permanent drinking water source or sewage disposal system. Thornton contacted PVREA to determine if current infrastructure in the area supports the proposed load, and they confirmed sufficient power is available in the area to supply the source water pump station. In addition, it may be possible for PVREA to extend a second, redundant power feed to the source water pump station for emergency backup power. If a second feed is feasible and cost-effective, an emergency diesel powered backup generator will not be required. Thornton will continue to coordinate with PVREA to determine specific requirements for power service to the source water pump station. The TWP has no additional effect on the need for law enforcement. Fire hydrants are located along the roadway adjacent to the proposed source water pump station site. Final design of the source water pump station will meet fire protection level-of-service standards as required in LUC Section 8.1.4. A Larimer County Site Plan Review permit application will be submitted to Larimer County for the source water pump station after design.

GM-13 Larimer County supports the development of a local economy that is increasingly self-reliant and that meets the needs of the present without compromising the needs of future generations.

GM-13-s1 County-sponsored economic development activities shall be supportive of existing businesses and retain existing employment, as well as fostering new employment opportunities, which create a positive impact on the County.

The TWP will employ Thornton employees, a construction management team, and contractors to complete the construction of the TWP. It is anticipated that Thornton will provide approximately 10 to 15 employees during the construction phase. No lodging or temporary housing is expected to be required for Thornton employees or the construction management team. Contractors for the construction phase of the TWP will be hired. The TWP contractors will provide construction crews that are not anticipated to exceed approximately 100 workers at any one time. Some workers may reside outside of the local areas and will require lodging or temporary housing. The number of construction workers on site will depend on the contractor and the construction activity occurring during a particular time. Thornton will endorse hiring local workers.

TWP contractors and construction workers will likely support local businesses to meet a need for durable and nondurable goods and services.

Normal operations and maintenance of the TWP facilities will be completed by Thornton employees from within the region, and no significant demand for goods and services is anticipated.

Larimer County Master Plan, Chapter 3 – Land Use

Future land use (LU) issues comprise the core of the Larimer County Master Plan. Thornton has met with local governments whose town boundaries and GMAs fall within the TWP corridor. Thornton will continue meeting with these governments to gather input and feedback on the final water pipeline alignment location within city and town boundaries and GMAs as it is developed. One of Thornton's objectives is to provide efficient integration of the TWP with planned future municipal or county developments.

LU-4 In rural areas, allowed uses and residential densities shall be based on the current zoning of the property.

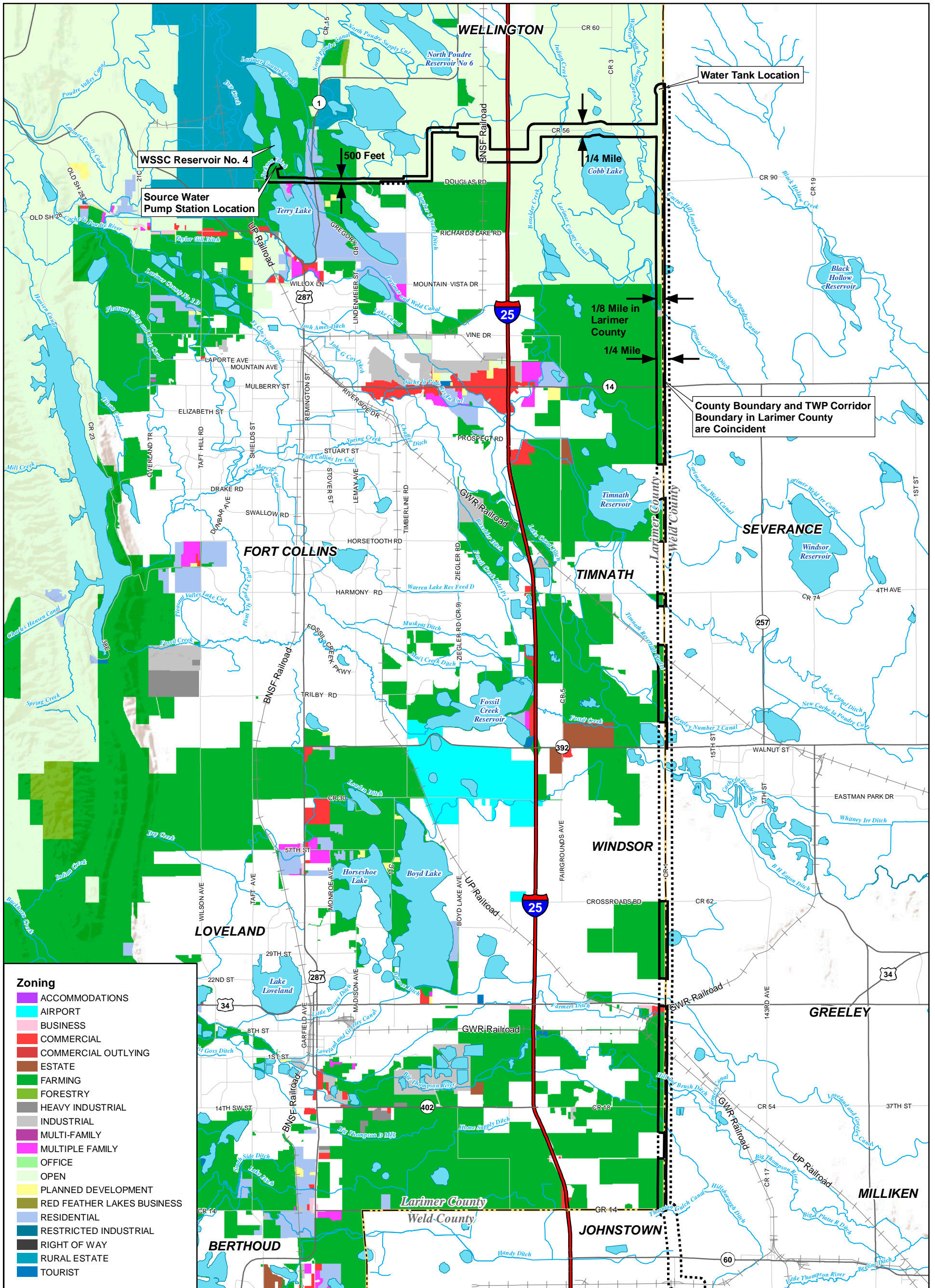
The majority of the TWP corridor within unincorporated Larimer County is located in rural land use areas designated as farming and open zoning. The water pipeline and fiber optic cable will be buried, and land use effects on agricultural and other similar use will be temporary during construction and are anticipated to be minimal after construction. Agricultural use within the permanent easement can continue after construction. The buried pipeline and fiber optic cable are compatible with other land uses, such as residential use, that the TWP corridor crosses.

Figure 2.e.1-1 shows the zoning within the TWP corridor in Larimer County.

LU-9 Undevelopable land shall be defined in the Land Use Code and shall include the Floodway (FW) zone district and land below the high water mark of existing bodies of water.

The TWP water pipeline will be buried in floodway zone districts and within land below the high water mark of existing water bodies. Water pipeline crossings of jurisdictional waters will utilize trenchless construction methods. One-hundred-year floodplains typically extend outside the jurisdictional water. Areas outside the jurisdictional water but within a floodplain could be constructed using open-cut construction. Material storage will be outside of the floodplain per local floodplain criteria. Land will be restored to pre-construction grades, and the buried water pipeline

Thornton Water Project



- Zoning**
- ACCOMMODATIONS
 - AIRPORT
 - BUSINESS
 - COMMERCIAL
 - COMMERCIAL OUTLYING
 - ESTATE
 - FARMING
 - FORESTRY
 - HEAVY INDUSTRIAL
 - INDUSTRIAL
 - MULTI-FAMILY
 - MULTIPLE FAMILY
 - OFFICE
 - OPEN
 - PLANNED DEVELOPMENT
 - RED FEATHER LAKES BUSINESS
 - RESIDENTIAL
 - RESTRICTED INDUSTRIAL
 - RIGHT OF WAY
 - RURAL ESTATE
 - TOURIST

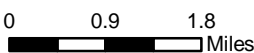
**CITY OF THORNTON
COLORADO**

12450 WASHINGTON ST
THORNTON, CO 80241-2405

12/29/2017



1 in = 1.8 miles



- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- Lake/Reservoir
- River/Stream/Canal/Ditch

**Figure 2.e.1-1
Zoning**

Sources: NHD, CDWR, Larimer County, CDOT

will have no effect to the 100-year floodplain. These methods will be employed to minimize effects to natural resources such as jurisdictional waters and wildlife habitat associated with those areas. Thornton will obtain floodplain development permits from Larimer County for floodplain crossings in unincorporated Larimer County.

LU-10 All new development shall be located and designed for compatibility with sensitive natural areas.

LU-10-s1 The Land Use Code shall include the provision that mapping of natural hazard areas, wetlands, ridgelines and other natural and cultural resource area information available from the Planning Division, be included on initial development submittals and considered in development design. Additional natural resource information that becomes available through the development review process should be incorporated in the design. (See also Sec. 6.1.).

The TWP corridor was developed considering compatibility with sensitive natural areas. The TWP corridor route was established to minimize impacts to sensitive natural areas utilizing Thornton's GIS data for the TWP area supplemented by Larimer County's GIS data. Additional information regarding the development of the TWP corridor is located in **Appendix A**.

Natural hazards information including figures are presented in Section 8.c, Natural Hazard Mitigation Plan. The TWP will be located outside of any Larimer County designated wildfire hazard areas. The TWP corridor crosses several locations defined as severe geologic class 5, 6, and 7 hazard conditions. These areas generally correspond to areas of greater slope and soil erodibility. Mitigation measures that could be implemented in these areas of geologic hazard include using trenchless construction methods for water pipeline installation, using imported backfill material, implementing BMPs, developing the final water pipeline alignment in a location with the least impact to the area, and others as described in Section 8.c. A subsurface geotechnical investigation of geologic conditions utilizing soil borings will be completed during the design phase of the TWP to further determine the subsurface soil conditions and associated geological hazards and identify the best mitigation measures for the TWP.

The TWP corridor was assessed for potential jurisdictional waters and wildlife habitat using publicly available mapping and aerial photographs, and by conducting a windshield survey of areas that could be publicly accessed. Site surveys will be performed once access to the land is available to aid in the determination of jurisdictional waters and wildlife habitat. Information from the corridor assessment and survey information will be used to develop the final pipeline alignment. Mitigation methods to minimize impacts to these areas will be incorporated into the design and construction as appropriate. Jurisdictional water crossings will be constructed using trenchless construction methods.

A Class I File Search and Literature Review for cultural resources was conducted. Based on that review, there are no cultural sites or structures that are listed on the State and National Register of Historic places within the TWP corridor within unincorporated Larimer County. Additional information on natural and cultural resources within the TWP corridor is presented in **Appendix C**, Natural and Cultural Resource Assessment. Information provided there includes mitigation measures that could be implemented for the TWP.

Appropriate mitigation measures will be implemented in the development of the final pipeline alignment considering data received from the Planning Division, environmental field surveys that will be completed for the TWP once access is available, and other sources as additional studies are conducted during the design phase.

LU-10-s3 *The Land Use Code shall establish standards to control erosion and prevent infestation of noxious weeds during construction of new development.*

Surface drainage BMPs implemented during construction will include application of erosion control techniques and the successful revegetation of disturbed areas. The required CDPHE construction stormwater permits will be obtained prior to construction, and the associated SWMPs will include detailed descriptions of BMPs that will be used to control erosion. Disturbed areas will be restored to pre-construction grades and revegetated at the conclusion of construction. Certified weed-free seed mix consisting of drought-tolerant native grasses will be specified in the SWMP for the revegetation of disturbed areas to meet property owner and regulatory requirements. Disturbed mature vegetation will be replaced, per a property owner's reasonable request, with a like species. Measures that may be employed to protect surface water and control erosion are provided in **Appendix D**.

A noxious weed mitigation plan is included in **Appendix C**.

LU-11 **Compatibility with adjacent land use shall be considered in the design of all new development.**

The water pipeline and fiber optic cable will be compatible with adjacent land uses because they will be buried at a depth sufficient to prevent interference with anticipated land uses. The majority of the TWP corridor is located in and adjacent to rural land use areas. Agricultural use within the permanent easement can continue after construction. The TWP is not anticipated to impact standard agricultural practices once the TWP is installed. Thornton will coordinate placement of the water pipeline and appurtenances, including bury depth, with individual property owners to minimize impacts to property operations. Development of the TWP corridor included consideration of ROW, community impacts, and feedback received from local governments as discussed in Section 2.c and presented in **Appendix A**.

As described in Section 2.a.2, General Description, Final Pipeline Alignment Design Criteria, criteria for developing the final pipeline alignment will include:

- Be outside current and future planned road ROW unless otherwise approved by Larimer County.
- Be adjacent to roads, current or future road ROW, existing utility easements, and property lines.
- Minimize impacts to agricultural use.
- Minimize impacts to existing structures.
- Cross waters, irrigation ditches, roads, and railroads perpendicular to the feature.
- Minimize road crossings.
- Minimize impacts to environmental and cultural resources.
- Minimize impacts to open lands/conservation easements.

The water tank will be located within approximately 1 mile of an existing water tank that is located along County Road 1.

LU-11-s1 *Neighborhood meetings shall be required where compatibility with existing residential uses is an issue.*

The TWP is not incompatible with existing residential uses. Public outreach is not required by Larimer County's 1041 permit application process. However, in order to introduce the public and potentially affected property owners to the TWP, respond to questions, and to collect input from the public and potentially affected property owners, Thornton conducted a series of Open Houses in November and December 2016, an outreach meeting with residents from the areas around WSSC Reservoir No. 4 in February 2017, and a Community Update meeting for area residents near Douglas Road in September 2017. Eight hundred forty-nine property owners within the initial proposed corridor and within 500 feet of the initial proposed corridor in Larimer County were mailed invitations to the Open Houses. Nine hundred seven property owners within the Larimer County alternative configuration analysis area were mailed invitations plus 215 property owners were e-mailed invitations to the Community Update meeting. Property owners who were e-mailed invitations had provided their e-mail addresses for project updates via the TWP website or via comment cards from previously held Open Houses. Invitations were also sent to local municipality representatives and the home owners' associations near WSSC Reservoir No. 4. **Appendix B** includes the mailing lists and maps of the notification areas for the Open Houses and Community Update meeting. Section 2.k and **Appendix B** include additional information on the Open Houses, meetings with home owners' associations, and the Community Update meeting.

The TWP website, www.ThorntonWaterProject.com launched on October 28, 2016, provides an opportunity for questions and the collection of input from the public and potentially affected property owners.

Based on feedback received from area residents near WSSC Reservoir No. 4 impacts to adjacent property owners were considered for siting of the source water pump station; this information is included in *Technical Memorandum, Thornton Water Project, Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9 (Appendix A)*. Thornton will submit a Site Plan Review permit application for the source water pump station to Larimer County in accordance with LUC Section 6.0.

LU-11-s2 *Development adjacent to agricultural uses shall provide adequate buffers to minimize conflicts and complaints concerning standard agricultural practices.*

The majority of the TWP corridor is located in and adjacent to rural land use areas. The water pipeline and fiber optic cable will be compatible with agricultural uses because they will be buried at a depth sufficient to prevent interference with agricultural uses and agricultural use within the permanent easement can continue after construction. The TWP is not anticipated to impact standard agricultural practices once the water pipeline and fiber optic cable are installed. Thornton will coordinate placement of the water pipeline and appurtenances, including bury depth, with individual property owners to minimize impacts to property operations.

LU-11-s3 *The Land Use Code shall include guidelines for the use of design elements such as landscaping and buffer areas to help achieve compatibility.*

Areas disturbed for the construction of the water pipeline and water tank will be restored to pre-construction conditions, including grade and vegetation. The landscaping at the source water pump station site will adhere to LUC Section 8.5. Landscape plans or narrative, as appropriate, will be provided to Larimer County with the Site Plan Review permit application in accordance with LUC Section 6.0.

LU-11-s4 *Landscaping plans shall be required as part of all major development applications and all multi-family, commercial and industrial building permits. Existing vegetation shall be maintained wherever possible, except in wildfire hazard areas where thinning to achieve defensible space is necessary. Native plants, existing drainage patterns and natural designs should be used to increase the sustainability of the landscaping.*

The majority of the impacts on vegetation will be temporary during construction of the water pipeline and long-term impacts to native vegetation communities are not expected. Disturbed areas will be restored to pre-construction grades and revegetated at the conclusion of construction. Certified weed-free seed mix consisting of drought-tolerant native grasses will be specified in the SWMP for the revegetation of disturbed areas to meet property owners preferences and regulatory requirements. Disturbed mature vegetation will be replaced, per a property owner's reasonable request, with a like species.

Potential future repairs and maintenance could affect discrete areas of vegetation when the water pipeline is accessed in a particular location. Any vegetated areas disturbed during maintenance or required repairs will be restored by the methods used during construction.

Based on site visits conducted in 2016 and 2017 along publicly accessible areas and using Google Earth imagery, six broad vegetation communities within the TWP corridor and study buffer were identified and are as follows:

- Mixed upland
- Nonnative upland
- Riparian
- Wetlands
- Agricultural lands
- Developed/disturbed areas

Water pipeline crossings of high-quality vegetation such as wetlands or riparian communities will be constructed using trenchless construction methods. Additional information on existing vegetation is included in **Appendix C**.

Permanent impacts will occur from construction of the source water pump station and water tank sites where aboveground structures will be constructed. Areas around the aboveground water tank will be restored to pre-construction grades and vegetation similarly to the areas disturbed for water pipeline construction. Landscaping at the source water pump station site will adhere to LUC Section 8.5. Landscape plans or narrative, as appropriate, will be provided to Larimer County with the Site Plan Review and building permit applications in accordance with Larimer County requirements.

LU-12 Site design of commercial and industrial uses shall enhance and protect the aesthetic quality of community gateways and other high visibility corridors, including I-25, US Highways 34 and 287, and Colorado Highway 14.

LU-12-s1 The Land Use Code shall establish aesthetic standards and guidelines for commercial and industrial development addressing landscaping, screening of outdoor storage and operations, orientation of buildings (so that businesses do not back onto high visibility corridors), parking lot design and similar design considerations.

The water pipeline will be buried and will not affect community gateways or other high-visibility corridors. The buried water pipeline will cross Interstate 25, US Highway 34, and Colorado Highway 14. Visual effects during construction will be temporary and associated with the activities of equipment and construction crews. Activities will include removal of existing vegetation, exposure of bare soils, earthwork and grading, and revegetation. There will not be significant long-term visual effects. Screening and/or buffering will not be necessary. Following construction, disturbed areas will be revegetated and the water pipeline will not be visible. Water pipeline markers will be installed and maintained over the water pipeline and extend approximately 4 feet above ground. Water pipeline markers will occur approximately every 500 feet or in line of sight, on both sides of road and railroad crossings, and at changes in direction to identify the location of the water pipeline for safety and to reduce the risk of inadvertent third-party damage or interference. **Figure 2.e.1-2** shows a photo from a similar water project after construction and revegetation. Other items that could be visible above ground include vent pipes, access manways, and manhole covers that are associated with water pipeline appurtenances located below grade. See Section 2.a.2, General Description, Project Components and **Figure 2.a-3** for additional information.

The water tank is planned to be painted a tan shade to blend into the surrounding area. **Figure 2.a-2** shows a photo of an existing water tank located within 1 mile of the TWP water tank location.



FIGURE 2.e.1-2
Photo of Similar Water Pipeline Project Restoration

Design of the source water pump station will incorporate aesthetic standards and guidelines to meet Larimer County requirements.

LU-13 New development in wildfire hazard areas shall be designed to allow defensible space around structures and otherwise mitigate potential hazards to life and property.

Based on Larimer County mapping, the TWP will not be constructed in any wildfire hazard areas. See Section 8.c, Natural Hazard Mitigation Plan for additional information.

LU-14 Energy-efficient design, including the potential for solar access, shall be considered in subdivision design and in the orientation of individual building sites.

Pumps for the source water pump station will be chosen to operate near their best efficiency point and equipped with variable frequency drives to increase energy efficiency.

LU-15 New roadways, including Larimer County roads, shall be designed and constructed in a manner that minimizes the impact on water quality and sensitive environmental areas and considers aesthetics.

No new permanent roadways will be necessary to construct and maintain the TWP. At most locations, construction traffic will parallel existing roadways and use permanent and temporary construction easements. Existing access points will be used whenever possible. Cross-country travel during construction will be necessary along property lines and other locations within easements in unincorporated Larimer County. Thornton and the TWP contractors will exercise care and will coordinate with property owners to minimize impacts to property owner's existing access locations. New temporary access locations may be required. They will be designed and

constructed outside of sensitive environmental areas and will be designed to minimize impacts on water quality by implementing appropriate BMPs.

Surface drainage BMPs will include application of erosion control techniques and the revegetation of disturbed areas. SWMPs will include detailed descriptions of BMPs that will be used to protect surface hydrology and water quality.

Larimer County Master Plan, Chapter 4 – Public Facilities and Services

The TWP does not include any publicly accessible facilities, and impacts to existing facilities will be managed and mitigated. Thornton has met with the local governments along the TWP corridor and has coordinated the placement of the corridor such that it minimizes impacts to public facilities and known future development. Thornton has also been in discussions with other utility companies regarding possible conflicts with existing and proposed future utilities. Further utility investigation will be conducted for the development of the final pipeline alignment. The design will incorporate criteria for crossing existing utilities, such as minimum clearance requirements between pipelines.

PF-1 New development shall be approved only when adequate public facilities and services are available, or when necessary improvements will be made as part of the development project.

PF-1-s1 Adequate facilities and service levels shall be clearly defined in the Land Use Code and shall include standards for water, sewer, fire protection, stormwater management and transportation at a minimum. In Growth Management Areas, service level standards shall be compatible with those of the adjacent municipality, as specified in an Intergovernmental Agreement with the municipality. In other areas, standards shall be based on the density and intensity of the use.

During construction, water may be purchased from local water providers for construction activities such as watering a site to minimize fugitive dust or hydrotesting the water pipeline. TWP contractors will provide bottled water, water cooler service, or other temporary source of drinking water during construction. Portable toilets will be used during construction. No additional level of service from Larimer County is anticipated to be required.

The existing road network has adequate capacity to serve anticipated construction traffic needs. See the traffic narrative in Section 8, Technical Reports, 8.d Traffic Impact Study for impacts to traffic volumes during construction. Local fire districts will be notified of construction activities prior to start of construction. On-site fire district personnel will not be required during construction.

After construction, the TWP facilities may operate year-round, 24 hours a day; however, the facilities are intended to be unmanned. The source water pump station and water tank will be monitored and operated remotely, inspected daily, and repaired and maintained as needed. The existing road network has adequate capacity to serve anticipated operational traffic needs. It is anticipated that TWP operators could visit facilities daily to check operations. This entails one pickup truck accessing the source water pump station and water tank site and driving along the pipeline corridor for inspection and maintenance activities. Consequently, there will be minimal effects on the volume of traffic on local streets. Section 8, Technical Reports, 8.d Traffic Impact Study includes additional information.

The unmanned facilities are not anticipated to require a permanent drinking water source or sewage disposal system. Sufficient power is available in the area to supply the source water pump

station. Thornton contacted PVREA to determine if current infrastructure in the area supports the proposed load, and they confirmed sufficient power is available in the area to supply the source water pump station. In addition, it may be possible for PVREA to extend a second, redundant power feed to the source water pump station for emergency backup power. If a second feed is feasible and cost-effective, an emergency diesel powered backup generator will not be required. Thornton will continue to coordinate with PVREA to determine specific requirements for power service to the source water pump station. The TWP has no additional effect on the need for law enforcement. Fire hydrants are located along the roadway adjacent to the proposed source water pump station site. Final design of the source water pump station will meet fire protection level of service standards as required by LUC Section 8.1.4. A Larimer County Site Plan Review permit application will be submitted to Larimer County for the source water pump station after design.

Section 8.e, Drainage and Erosion Control Report and Plan includes information on stormwater management.

PF-4 Larimer County water service providers and fire protection districts shall coordinate domestic water service standards and fire protection standards for water supply to ensure that all County residents have adequate water supplies for domestic use and for fire protection.

TWP designers will coordinate with water service providers and applicable fire protection districts during the design phase.

PF-5-s1 Guidelines for defining, acquiring and maintaining open lands are contained in the Help Preserve Open Space Initiative and in the Mission Statement for the Larimer County Open Lands Program, adopted by the Board of County Commissioners in July 1996.

The construction of the TWP will not conflict with the overall Mission Statement for the Larimer County Open Lands Program or the Help Preserve Open Space Initiative. The TWP water pipeline will be constructed below ground, and the surface will be restored to pre-construction conditions after the water pipeline is installed.

The proposed TWP corridor intersects the Kraft Farm Conservation Easement northwest of Bartel Reservoir and the Wellington State Wildlife Area immediately north of Cobb Lake within unincorporated Larimer County based on the Larimer County Parks and Open Space GIS layer, downloaded in August 2016. The Kraft Farm Conservation Easement abuts County Road 56 on the north side of the easement. The water pipeline is proposed to be located in the County Road 56 ROW where feasible and as approved by Larimer County. During the development of the final pipeline alignment, designers will consider routing the water pipeline location around these areas where practicable. If the water pipeline cannot be routed around a dedicated conservation easement or wildlife area, impacts to these areas will be temporary and only occur while the water pipeline construction is taking place. After construction is completed, the area will be restored to pre-construction grades and vegetation, restoring it to its open lands condition. Thornton will coordinate with stakeholders of these areas to determine if other appropriate mitigation measures may need to be implemented.

PF-8 The location and design of new public facilities shall be consistent with the Master Plan.

The TWP is consistent with applicable guiding principles of Chapter 4 of the Master Plan. More specifically:

- The TWP will not permanently impact community gateways and view corridors.

- No public facilities and services for construction, operations, or maintenance will be required.
- The existing road network has adequate capacity to serve anticipated operational traffic needs.
- No water and sewer utility services for operations and maintenance will be required.
- No on-site personnel will be required, and no added burden will be placed on existing fire and police facilities.

PF-10 New development shall not reduce existing service below adequate levels, nor shall capital improvements to support new development be subsidized by existing residents.

The TWP will not reduce existing service below adequate levels. Larimer County residents will not subsidize the TWP. Similar to other utility/water providers, Thornton's water utility customers will pay for the TWP.

Larimer County Master Plan, Chapter 5 – Transportation

The majority of the corridor is located in rural land use areas. The existing road network has adequate capacity to meet anticipated operational traffic needs. Trenchless construction methods will be used at major road crossings as required by the regulatory agency having jurisdiction of the road to minimize effects to traffic and public safety. Section 8.d, Traffic Impact Study includes additional information. Where the corridor parallels Douglas Road and County Road 56, the water pipeline is proposed to be located in the Larimer County ROW where feasible and as approved by Larimer County. At other locations, the water pipeline alignment is proposed to be located outside current and future planned road ROW in unincorporated Larimer County, unless otherwise approved by Larimer County. The TWP was reviewed in conjunction with the area goals and transportation improvement plans outlined in the *Larimer County Transportation Master Plan*, adopted in July 2017. The *Larimer County Transportation Master Plan* identifies multiple road improvement projects within the area along the TWP corridor. Thornton will coordinate design efforts with Larimer County improvement projects to minimize conflicts with future plans. If Larimer County's improvement projects occur within the timeframe of the construction of the TWP, Thornton will work with Larimer County and other involved parties to coordinate construction and minimize disruption. The *Larimer County Transportation Master Plan* includes planned improvements for Douglas Road within the TWP corridor. To the extent feasible, Thornton will coordinate TWP construction activities with Larimer County's planned improvements for Douglas Road.

TR-1 The Larimer County transportation planning process shall complement the development patterns and principles of the Master Plan.

TR-1-s1 The Functional Road Classification Map shall be used as the official future roadway plan for the County.

Water pipeline installation within Larimer County ROW other than as specifically approved in a 1041 permit will require approval from Larimer County. At most locations the final water pipeline alignment is anticipated to parallel existing ROW and, if practicable, future road ROW. Where the corridor parallels Douglas Road and County Road 56, the water pipeline is proposed to be located in the Larimer County ROW where feasible and as approved by Larimer County.

Other local governments have variously indicated preferences for the water pipeline to be inside and outside of ROW. Thornton will coordinate with the agency having jurisdiction of roadway in the development of the final pipeline alignment location, and the Functional Road Classification Map will be used to determine future roadway plans.

The *Larimer County Transportation Master Plan*, adopted in July 2017, was consulted to confirm that the TWP is consistent with area goals and transportation improvement plans. The *Larimer County Transportation Master Plan* identifies multiple road improvement projects within the area along the TWP corridor. Thornton will coordinate design efforts with Larimer County improvement projects to minimize conflicts with future plans. If Larimer County's improvement projects occur within the timeframe of the construction of the TWP, Thornton will work with Larimer County and other involved parties to coordinate construction and minimize disruption. Larimer County has long-term plans for rehabilitation/replacement of Douglas Road, including intersection improvements at Highway 1. Thornton has met with Larimer County staff to discuss possible coordination of projects and will continue coordination efforts through the design and construction of the TWP. Section 8.d, Traffic Impact Study includes additional information.

TR-2 New development shall occur only where existing transportation facilities are adequate or where necessary improvements will be made as part of the development project.

Existing transportation facilities are adequate to serve construction of the TWP, and no new roads or improvements to existing roads are anticipated to be necessary in unincorporated Larimer County. Access will be via existing roads, temporary construction access, and the ROWs negotiated through individual easements.

Larimer County Master Plan, Chapter 6 – Environmental Resources and Hazards

The TWP will utilize trenchless construction methods for water pipeline installation to minimize effects to natural resources such as jurisdictional waters and wildlife habitat associated with those areas. The area disturbed for constructing the water pipeline will be restored to pre-construction conditions, including grade and revegetation, thus minimizing long-term impacts to wildlife. Areas of significant concern can utilize trenchless construction methods or the alignment of the water pipeline could be adjusted to reduce the impact the water pipeline has in a particular area. Additional information is included in **Appendix C** and the following reports in Section 8:

- 8.a Wetland Mitigation Plan
- 8.b Wildlife Conservation Plan
- 8.c Natural Hazard Mitigation Plan
- 8.f Floodplain Hydraulic/Hydrologic Modeling Report

ER-1 Resources and environmental conditions potentially impacted by proposed development shall be identified in the initial stages of the project, to best design a development that protects the environment.

Appendix C presents an assessment of natural and cultural resources within the TWP corridor. Site surveys will be performed once access to land is available to aid in the determination of jurisdictional waters and wildlife habitat. Information from the assessment and survey information will be used to develop the final pipeline alignment. Mitigation methods to minimize impacts to these areas will be incorporated into the design and construction as appropriate.

ER-1-s1 Environmental review shall be a formal required process beginning at the concept stage of all new development projects. Applicants will submit a checklist indicating which environmental resources and conditions will have significant, mitigable or no significant impact. In addition, resource information available from the Planning Department, pertaining to the project site and the area at least 1200 feet beyond project boundaries, shall be included on the concept plan submitted with the application.

Appendix C presents an assessment of natural resources within the TWP corridor. Thornton has met multiple times with staff from the Larimer County Planning Department regarding the TWP, the 1041 permit application process, and permit requirements. The Pre-Application Conference and follow-up meetings provided Thornton with guidance and recommendations from Larimer County staff to help ensure a complete permit application submittal. For long linear projects, Larimer County staff indicated that an environmental study of the project corridor would be sufficient. However, Thornton included an additional study buffer at most locations that includes a 500-foot buffer from the TWP corridor for the water pipeline and a 1,200-foot buffer around the TWP corridor near the water tank and source water pump station locations. Additional study buffer was not evaluated in areas where environmental impacts are expected to be minor, that is, where the water pipeline is proposed to be located in the Larimer County Douglas Road ROW or on Thornton-owned property near Douglas Road where ground-disturbing activities already take place.

Table 2.e.1-1 presents the anticipated effects on resources within the TWP corridor and study buffer.

TABLE 2.e.1-1
 Environmental Checklist for Resources Identified within the TWP Corridor and Study Buffer

Resource	Impact	Application Section Reference
100-Year Floodplains	Mitigable	Section 8.f, Floodplain Hydraulic/Hydrologic Modeling Report
Wildfire Hazards	No Significant Impact	Section 8.c, Natural Hazard Mitigation Plan
Geological Hazards	Mitigable	Section 8.c, Natural Hazard Mitigation Plan
Cultural	No Significant Impact	Appendix C, Natural and Cultural Resources Assessment Report
Jurisdictional Waters	No Significant Impact	Section 8.a, Wetland Mitigation Plan and Appendix C, Natural and Cultural Resources Assessment Report
Vegetation	Mitigable	Appendix C, Natural and Cultural Resources Assessment Report
Wildlife	Mitigable	Section 8.b, Wildlife Conservation Plan and Appendix C, Natural and Cultural Resources Assessment Report
Special Status Species	Mitigable	Section 8.b, Wildlife Conservation Plan and Appendix C, Natural and Cultural Resources Assessment Report

100-Year Floodplains

The TWP corridor and study buffer in Larimer County crosses three designated 100-year floodplains:

- Box Elder Creek east of I-25 near County Road 56
- Cache la Poudre River near Highway 392
- Big Thompson River near County Road 54

The TWP will not alter the floodplains. The TWP will utilize trenchless construction methods under jurisdictional waters, including streams, rivers, lakes, and wetland areas, and work conducted

within the floodplain fringe areas will be restored to pre-construction conditions. Therefore, the TWP will have no impact on the hydraulics and hydrology of the floodplain.

Wildfire Hazards

The TWP corridor and study buffer do not cross wildfire areas.

Geologic Hazards

Based on Larimer County GIS data downloaded August 2016 from Larimer County's GIS Digital Data and shown in **Figure 8.c-2**, the majority of the TWP corridor and study buffer is located in a low geologic hazard category. The TWP corridor and study buffer crosses two Moderate Class 3 and 4 areas generally described as marshy with wetlands and sandy soils with increased sloughing. Mitigation measures will be implemented in areas outside of any jurisdictional waters.

Jurisdictional waters will be crossed using trenchless construction methods.

The TWP corridor and study buffer crosses several locations defined as Severe Geologic Class 5, 6, and 7 hazard conditions. These locations are associated with major drainages and generally correspond to areas of greater slope and soil erodibility. The geologic hazard could be mitigated by using trenchless construction methods for water pipeline installation. Jurisdictional waters will be crossed using trenchless construction methods. Other possible mitigation measures that could be implemented are described in Section 8.c.

A subsurface geotechnical investigation of geologic conditions utilizing soil borings will be completed during design to further determine the subsurface soil conditions and associated geological hazards along the TWP corridor. Mitigation measures will be further refined during design to meet site-specific geological hazards.

Cultural

A Class I File Search and Literature Review for cultural resources was conducted in the second quarter of 2016 and the third quarter of 2017 for the additional analysis area. No cultural sites or structures listed on the State and National Register of Historic Places are located within the TWP corridor or study buffer within Larimer County. Additional information can be found in the Natural and Cultural Resources Assessment Report and the addendum to that report in **Appendix C**.

Jurisdictional Waters

The TWP corridor and study buffer cross multiple open waters, riparian areas, and wetlands. Water pipeline crossings of jurisdictional waters will be constructed using trenchless construction methods. Thornton has been in discussions with USACE, and Thornton plans to submit a jurisdictional determination request to USACE to determine which areas in the TWP corridor are jurisdictional. Additional information can be found in the Natural and Cultural Resources Assessment Report and the addendum to that report in **Appendix C**.

Vegetation

Impacts to vegetation will be temporary during construction except at the water tank and source water pump station and associated sites. The area around the water tank and associated sites will be restored to pre-construction conditions. Restoration around the source water pump station will be determined during design. Temporarily disturbed areas will be returned to pre-construction grades and will be seeded with native vegetation to meet property owner preferences and regulatory requirements. No long-term adverse effects on vegetation will occur. Additional

information can be found in the Natural and Cultural Resources Assessment Report and the addendum to that report in **Appendix C**.

Wildlife

An assessment of the TWP corridor and study buffer was conducted for wildlife and wildlife habitat. Information on terrestrial and aquatic animals was obtained from various sources including Colorado Parks and Wildlife, Colorado Natural Diversity Information System, Colorado Natural Heritage Program, U.S. Fish and Wildlife Service, published literature, and field surveys. Additional information including mitigation measures to minimize impacts to wildlife can be found in the Natural and Cultural Resources Assessment Report and the addendum to that report in **Appendix C**.

Special Status Species

An assessment of the TWP corridor and study buffer was conducted for potential habitat of federally threatened, endangered, and candidate species protected under the Endangered Species Act. The TWP will have no effect on federally listed threatened, endangered, or candidate wildlife or plant species. Mitigation measures such as restricting construction during nesting seasons may be implemented as appropriate. Additional information can be found in the Natural and Cultural Resources Assessment Report and the addendum to that report in **Appendix C**.

ER-3 Larimer County shall endeavor to protect all identified wetland areas of the County, in recognition of their importance in maintaining water quality, wildlife habitat, flood protection and other critical environmental functions.

ER-3-s3 A Wetland Mitigation Plan shall be developed for any development project which impacts a wetland. Requirements and performance standards for the mitigation plan shall be clearly established in the Land Use Code, and shall be the basis for approval of that plan.

Based on desktop analysis and field surveys conducted where access was available in May through July 2016 and in August and September 2017, the TWP corridor crosses multiple wetlands. More detailed field surveys will be conducted during the design phase once access is available to determine the extent of wetlands and other jurisdictional waters. Water pipeline crossings of jurisdictional waters including wetlands will be constructed using trenchless construction methods. Additional information can be found in the Natural and Cultural Resources Assessment Report and the addendum to that report in **Appendix C**.

ER-4 Larimer County shall endeavor to protect all areas identified as highest priority on the Important Wildlife Habitat Map, which is adopted by reference as part of the Master Plan.

An assessment of the TWP corridor and study buffer was conducted for wildlife and wildlife habitat. Information on terrestrial and aquatic animals was obtained from various sources including Colorado Parks and Wildlife, Colorado Natural Diversity Information System, Colorado Natural Heritage Program, U.S. Fish and Wildlife Service, published literature, and field surveys. Wildlife, including habitat and special status species, and associated mitigation measures that could be implemented to minimize impacts to wildlife are discussed in the Natural and Cultural Resources Assessment Report in **Appendix C**.

ER-4-s3 A Wildlife Impact Mitigation Plan shall be developed for any development project which impacts an Important Habitat, or which presents concerns of detrimental

human-wildlife interaction. Requirements and performance standards for the mitigation plan shall be clearly established in the Land Use Code and shall be the basis for approval of the plan.

Wildlife, including habitat and special status species, and associated mitigation measures that could be implemented to minimize impacts are discussed in the Natural and Cultural Resources Assessment Report in **Appendix C**.

ER-5 Approval of development in hazard areas shall require a finding that the proposed development is compatible with the potential hazards and that future owners or the County shall not be subject to safety hazards or economic costs associated with development related to the natural disturbance.

ER-5-s2 Moderate hazard areas shall be avoided wherever possible or the potential disturbance adequately mitigated. The Land Use Code shall establish guidelines for mitigation plans and require that the plans be reviewed by professionals having demonstrated expertise in the appropriate field, i.e., geology or wildfire management.

The TWP corridor and study buffer in Larimer County crosses three designated 100-year floodplains:

- Box Elder Creek
- Cache la Poudre River
- Big Thompson River

The TWP will not alter these floodplains. The TWP will utilize trenchless construction methods under jurisdictional waters, including streams, rivers, lakes, and wetland areas, and work conducted within the floodplain fringe areas will be restored to pre-construction conditions. Therefore, the TWP will have no impact on the hydraulics and hydrology of the floodplain.

The TWP corridor is not located in a wildfire hazard area.

The majority of the TWP corridor is located in a low geologic hazard category. The TWP corridor and study buffer crosses two Moderate Class 3 and 4 areas generally described as marshy with wetlands and sandy soils with increased sloughing. Mitigation measures will be implemented in areas outside of any jurisdictional waters. Jurisdictional waters will be crossed using trenchless construction methods.

The TWP corridor and study buffer crosses several locations defined as Severe Geologic Class 5, 6, and 7 hazard conditions. These locations are associated with major drainages and generally correspond to areas of greater slope and soil erodibility. The geologic hazard could be mitigated by using trenchless construction methods for water pipeline installation. Jurisdictional waters will be crossed using trenchless construction methods. Other possible mitigation measures that could be implemented are described in Section 8.c.

A subsurface geotechnical investigation of geologic conditions using soil borings will be completed during design to further determine the subsurface soil conditions and associated geological hazards along the TWP corridor. Mitigation measures will be further refined during design to meet site-specific geological hazards.

ER-5-s3 Potential disturbances shall be eliminated in constraint areas as part of the development design process. Approval of development in constraint areas shall be

conditional, based on adequate mitigation of the potential natural disturbance. Strategies for follow-up monitoring to ensure that mitigation has occurred shall be incorporated when appropriate.

The design team will coordinate with Larimer County to determine the location of any constraint areas and will implement required mitigation or avoidance practices in line with industry standards. Monitoring requirements will be coordinated with the County should any mitigation take place.

ER-6 New development in wildfire hazard areas shall be designed to create communities less susceptible to loss of life and property from wildfire.

ER-6-s1 All new development in designated wildfire hazard areas shall complete and implement a wildfire mitigation plan specific to that development. Mitigation plan standards and guidelines shall be clearly established in the Land Use Code and shall be the basis for plan approval. Standards shall include provisions for emergency equipment access and year-round water supply.

Based on the *Larimer County Wildfire Hazard Areas Map*, the TWP corridor in unincorporated Larimer County is located outside of the wildfire hazard area. The water pipeline will be buried and is not susceptible to wildfires. Appurtenances will be constructed of steel, concrete, and other non-flammable materials.

ER-8 Larimer County shall protect its commercial mineral resources, pursuant to 34-1-302(1) C.R.S.

No significant mineral resources have been identified within the TWP corridor. The TWP is a linear project that follows many existing linear corridors. The development of undiscovered mineral resources would not be limited by the TWP. **Figure 4.n** shows locations of commercial mineral mines, active hard rock mines, sand and gravel construction mines, and Division of Reclamation Mining and Safety mines in Larimer County. One active sand and gravel construction pit is shown on the figure within unincorporated Larimer County.

ER-13 Development proposals shall minimize negative air quality impacts to the maximum extent possible.

ER-13-s2 Development applicants shall comply with State requirements for controlling dust emissions during the construction phase of development. The Land Use Code shall reference performance standards for dust control.

Thornton and/or the TWP contractors will develop a fugitive dust control plan, submit an air pollution emissions notice, and obtain a permit from CDPHE prior to construction activities in accordance with state air quality regulations. Additional information including possible mitigation measures to be used during construction can be found in Section 8.I, Air Quality Impact and Mitigation Report.

ER-14 Water quality shall be protected by analyzing potential impacts of development proposals, the application of best management practices to reduce or control sources of contamination, and a demonstration of compliance with local, State and Federal requirements.

ER-14-s1 Applicants for new development shall address potential water quality impacts for properties that contain surface water or have the potential to impact surface or

groundwater quality. A water quality management plan shall be included as part of the stormwater report in the development review process.

Development of the final water pipeline alignment will consider water pipeline construction locations that minimize impacts to historical surface and subsurface water flows in the project area. Water pipeline crossings of jurisdictional waters, including wetlands, will be constructed utilizing trenchless construction methods. This construction method will eliminate surface disturbance to the waterbody and effects on water quality. The TWP corridor and study buffer cross multiple open waters, riparian areas, and wetlands. Additional information can be found in the Natural and Cultural Resources Assessment Report in **Appendix C**.

The TWP will cross multiple irrigation ditches within unincorporated Larimer County as presented in **Table 2.e.1-2**. Thornton has begun initial outreach to each irrigation ditch company to begin coordination activities. Thornton will obtain appropriate agreements for each crossing prior to construction. No direct effects on water quality in the irrigation ditches are anticipated. Crossings will be constructed using either open-cut or trenchless construction methods as directed by the irrigation ditch company and during off season, if required.

TABLE 2.e.1-2
 TWP Corridor Irrigation Ditch Crossings

Irrigation Ditch Name	Irrigation Ditch Owner
Jackson Ditch	The Jackson Ditch Company
Larimer County Ditch/Larimer County Canal	Water Supply and Storage Company
Cowan Lateral/Cactus Hill Lateral	North Poudre Irrigation Company
No. 8 Outlet Ditch/Windsor Ditch/Larimer and Weld Canal/ Larimer Weld Irrigation Canal	Windsor Reservoir and Canal Company
Lake Canal/Lake Canal Ditch	Lake Canal Reservoir Company
Timnath Reservoir Outlet/Greeley Number 2 Canal	Cache la Poudre Reservoir Company
Farmers Ditch	Highland Ditch Company
Hillsborough Ditch/Hill and Brush Ditch	Consolidated Hillsborough Ditch Company

Prior to construction, Thornton and/or the TWP contractors will obtain a Stormwater Discharge Associated with Construction Activity - General Permit from CDPHE. SWMPs will be developed under the general permit to protect the quality of stormwater runoff during construction in accordance with the Construction Stormwater Discharge Permit requirements.

Construction wastewater associated with the potential dewatering of trenches would be handled in accordance with CDPHE permit discharge requirements. Prior to construction, Thornton and/or the TWP contractors will obtain a General Permit for Construction Dewatering Activities from CDPHE and specify the management measures to be used to capture and manage any generated discharge.

Section 8.e, Drainage and Erosion Control Report and Plan and **Appendix D**, Construction Stormwater Best Management Practices – Example Descriptions include additional information.

Construction, operation, and maintenance activities will comply with applicable federal, state, and local laws and regulations regarding the use of hazardous substances as described in Section 2.h.

ER-14-s2 *Drinking water sources shall be provided the highest achievable levels of environmental protection. Stormwater from new developments must not be discharged into a drinking water supply reservoir unless it can be demonstrated that water quality will not be impaired. Water quality management plans shall address water chemistry, as well as sediment transport and control.*

Prior to construction, Thornton and/or the TWP contractors will obtain a Stormwater Discharge Associated with Construction Activity - General Permit from CDPHE. SWMPs will be developed under the general permit to protect the quality of stormwater runoff during construction in accordance with the Construction Stormwater Discharge Permit requirements.

ER-14-s3 *Local and State requirements for individual on-site sewage disposal systems shall be considered in the initial stages of the development review process. All new lots to be served with individual septic systems shall be at least 2.29 acres and shall demonstrate the ability to meet local standards prior to preliminary subdivision approval.*

After construction, the TWP facilities may operate year-round, 24 hours a day; however, the facilities are intended to be unmanned. The source water pump station and water tank will be monitored remotely, inspected daily, and repaired and maintained as needed. The unmanned facilities are not anticipated to require any permanent drinking water source or sewage disposal system.

ER-14-s4 *Applicants for construction activities, industrial uses and mining activities which meet thresholds under State law shall demonstrate that they have obtained a Colorado Stormwater Permit. Colorado Stormwater permits require applicants to identify and carry out appropriate best management practices to minimize polluted runoff from their sites.*

Prior to construction, Thornton and/or the TWP contractors will obtain a Stormwater Discharge Associated with Construction Activity - General Permit from the CDPHE. SWMPs will be developed under the general permit to protect the quality of stormwater runoff during construction in accordance with the Construction Stormwater Discharge Permit requirements.

ER-15 **All new development shall be required to adequately provide for stormwater management in a manner which reflects current engineering practice and which takes into account up-to-date hydrologic standards.**

Stormwater management practices will be incorporated in the design of both the source water pump station and water tank sites.

ER-17 **Larimer County shall develop noise and glare performance standards and enforce State odor condition standards to protect the health, safety and welfare of County residents.**

ER-17-s1 *Noise standards from the County Noise Ordinance shall be used in the development review process to ensure that new development does not create unacceptable noise conditions beyond its property boundaries. The Land Use Code shall reference maximum permissible noise levels consistent with the existing County Noise Ordinance. If the County has reason to believe that a proposed use may cause noise which would be objectionable or otherwise cause a nuisance, a noise mitigation plan may be required as part of a development application.*

During construction of the TWP, the TWP will comply with Larimer County's then-existing Noise Level Ordinance (currently Ordinance No. 97-03). Noise from construction equipment will be of short duration during construction.

Post-construction, noise at the source water pump station is anticipated to come from the permanent emergency backup generator if included, air conditioning unit(s), and from equipment inside the building such as pumps and motors. It may be possible for PVREA to extend a second, redundant power feed to the source water pump station for emergency backup power. If a second feed is feasible and cost-effective, an emergency diesel powered backup generator will not be required. Thornton will continue to coordinate with PVREA to determine specific requirements for power service to the source water pump station. The facility will be designed to meet the then-existing Larimer County Noise Level Ordinance. No noises related to the water pipeline and water tank are anticipated. A Larimer County Site Plan Review permit application will be submitted to Larimer County for the source water pump station after design.

Section 8.k, Noise Analysis includes additional information.

ER-17-s2 Performance standards for glare shall be addressed in the development review process to limit off-site impacts associated with glare and light level disturbance. The Land Use Code shall specifically address outdoor lighting standards and provide a review process for outdoor lighting activities and uses such as lighted playing fields and outdoor arenas.

Lighting is not required for the water pipeline. For security, lighting will be provided at the source water pump station and water tank. The lighting plan for the source water pump station will be submitted to Larimer County with the Site Plan Review Permit application. Lighting for the water tank will meet requirements defined in the LUC Section 8.15. Fixtures will be designed, shielded, aimed, located and maintained to prevent glare and light trespass on abutting properties and the vicinity.

ER-18 The development review process shall assist in the protection of the special places of Larimer County.

A Class I File Search and Literature Review for cultural resources was conducted in the second quarter of 2016. No cultural sites or structures listed on the State and National Register of Historic Places are located within the TWP corridor or study buffer within Larimer County. Additional information can be found in the Natural and Cultural Resources Assessment Report in **Appendix C**.

2.e.2 Applicable Intergovernmental Agreements and Municipality Plans

Several municipalities have IGAs with Larimer County. These IGAs were examined for applicability to the TWP. IGAs applicable to the TWP are with the city of Loveland (Loveland), the town of Windsor (Windsor), and the city of Fort Collins (Fort Collins).

IGA Larimer County/Loveland

The TWP corridor does not intersect Loveland's GMA. The TWP corridor lies within the boundary of Loveland's community influence area (CIA) and cooperative planning area (CPA), making Loveland a referral agency. As a referral agency, Loveland may review and comment on this Application to identify the impacts of the TWP on infrastructure in Loveland, and particularly, on existing road and storm drainage systems. Traffic impacts will be temporary during construction; Section 8.d, Traffic Impact Study provides additional information. The water pipeline will be buried

and areas impacted by construction will be restored to pre-construction conditions. No long-term impacts to storm drain systems are anticipated.

IGA Larimer County/Windsor

The TWP corridor extends through portions of the town boundaries of Windsor and Windsor's GMA, CIA, and 3-Mile Planning Area and will be subject to the IGA Regarding Cooperation on Managing Urban Development between Windsor and Larimer County. The TWP within Windsor's municipal limits will be subject to the specifications, regulations, and permit requirements of Windsor. Thornton has participated in several discussions with Windsor regarding Windsor's requirements and will continue coordination as the final water pipeline alignment is developed.

For portions of the TWP corridor that lie within the GMA, CIA, and the 3-Mile Planning Area, Windsor will be a referral agency and may review and comment on this Application. No changes to existing zoning are anticipated to be required for the water pipeline and no annexations will be required for the water pipeline easement. Land use of each parcel crossed by the water pipeline will be considered during the development of the final water pipeline alignment. As stated above, Thornton has initiated coordination activities with Windsor and will continue discussions to coordinate planning activities. In addition, Windsor and other local municipalities were consulted on the preferred location of the TWP corridor.

IGA Larimer County/Fort Collins

The TWP corridor extends through portions of the city boundaries of Fort Collins and Fort Collins' GMA and will be subject to the IGA. The TWP within Fort Collins' municipal limits will be subject to the specifications, regulations, and permit requirements of Fort Collins. Thornton has participated in an initial outreach meeting with Fort Collins and will continue coordination as the final water pipeline alignment is developed if the water pipeline is proposed to be located within the city of Fort Collins.

2.e.3 Larimer County Open Lands Master Plan

The TWP corridor does not cross any existing Larimer County Open Space and Parks identified in the Larimer County Open Lands Master Plan. One conservation easement, the Kraft Farm Conservation Easement, indicated in the Larimer County Open Lands Master Plan, is within the TWP corridor. The Kraft Farm Conservation Easement abuts County Road 56 on the north side of the easement. The water pipeline is proposed to be located in the County Road 56 ROW where feasible and as approved by Larimer County. Impacts are expected to be minimal by routing the water pipeline location around this area where practicable. If the water pipeline cannot be routed around this area, impacts to this area will be temporary and only occur while the water pipeline construction is taking place. After construction is completed, the area will be restored to pre-construction grades and vegetation, restoring it to its open lands condition.

The TWP corridor crosses multiple priority areas that Larimer County considers as prime candidates for protection when willing property owners desire to sell or donate their land or conservation easements to Larimer County. The TWP will obtain easements for the water pipeline in these areas and will not purchase any property that could be considered for conservation easements. The priority areas that the TWP corridor crosses that are indicated in the Larimer County Open Lands Master Plan include the following:

- Wellington Separator Area
- River Corridor Priority Areas

- Cache la Poudre River
- Big Thompson River

Impacts in the Wellington Separator area will be temporary during construction because the water pipeline will be buried and disturbed areas will be restored to pre-construction grades and vegetation, effectively restoring these areas to their open lands condition.

River crossings within jurisdictional waters will be constructed using trenchless construction methods. Areas outside jurisdictional waters will be restored to pre-construction grades and vegetation, effectively restoring these areas to open lands condition. The TWP corridor crosses the Cache la Poudre River at the Frank State Wildlife Area, which is a conservation easement granted to Colorado Department of Natural Resources, Colorado Division of Wildlife. Thornton has attended an initial coordination meeting with Colorado Parks and Wildlife (CPW) regarding the crossing of this conservation easement. Thornton will continue coordination with CPW as the TWP is developed and implemented.

From the Larimer County Open Lands Master Plan:

Requests for easements that affect open spaces must be considered within this context. Accordingly, the general policy is to avoid, to the maximum extent feasible, granting easements for activities that will adversely affect the resource and open space values and their protection. Where easements are determined to be acceptable, the general policy is to minimize the impact on the open space by limiting the size, scope, and visibility of the area affected, by managing construction or other human activities with respect to their timing, duration, and frequency of occurrence, and by restoring affected areas to a condition that is equal to or better than the condition at the time the easement is granted.

The TWP will implement mitigation measures to minimize impacts during construction, especially in sensitive areas. Existing grades will be restored to their pre-construction conditions and revegetated to match existing conditions. Additional information and mitigation measures that could be implemented are discussed in the Natural and Cultural Resources Assessment Report in **Appendix C**.

From the Larimer County Open Lands Master Plan:

Underground Utility Transmission Facilities or Pipelines. To the extent possible, underground utility transmission facilities (e.g. electric, telephone, fiber optic, etc.) and pipelines (e.g. gas, water, sewer) will be located within the street and utility right-of-way adjacent to the open space. In instances where the existing right-of-way does not conform to the planned future street right-of-way as depicted on the applicable adopted Transportation Master Plan, cable or pipeline easements will be located parallel to the existing roadway and within the area encompassed by the future street and utility right-of-way.

Some larger utility transmission facilities or pipelines are not typically placed beneath streets due to reliability or safety concern. In instances where the facility or pipeline cannot be placed within the road right-of-way, it will be located as close as practicable, and parallel to the road right-of-way.

The final water pipeline alignment will be developed based on a number of criteria including minimizing impacts to environmental resources and open lands/conservation easements. If

locating the water pipeline outside the ROW other than as specifically approved in a 1041 permit is not practicable, Larimer County approval will be pursued to allow the water pipeline to be located within the ROW. As required, alternatives within the TWP corridor will be examined prior to making such a request to Larimer County to verify that the proposed alternative is the best reasonable alternative.

From the Larimer County Open Lands Master Plan

Coordination with Other Entities: The County will generally discourage exclusive easements. As a condition of approval, the applicant must contact other utility service providers in the project vicinity to determine if they have current or future plans for additional facilities in the area. To the extent feasible, the planning, design, and construction of facilities shall be coordinated among utility providers to conserve easement corridors and to avoid repeated construction activities that may affect the open space. Applicants must provide copies of the written request for utility coordination and the responses received from other service providers.

Thornton has initiated outreach to local utility providers and will review the possibility of shared future easements with those entities. **Appendix E**, Stakeholder Outreach documents the initial outreach to local utility providers.

2.e.4 Larimer County Transportation Master Plan

The TWP was reviewed in conjunction with the area goals and transportation improvement plans outlined in the *Larimer County Transportation Master Plan*, adopted in July 2017. The *Larimer County Transportation Master Plan* identifies multiple road improvement projects within the area along the TWP corridor. Thornton will coordinate design efforts with Larimer County improvement projects to minimize conflicts with future plans. If Larimer County's improvement projects occur within the timeframe of the construction of the TWP, Thornton will work with Larimer County and other involved parties to coordinate construction and minimize disruption. Additional information is discussed in Section 8.d, Traffic Impact Study.

Larimer County has long-term plans for rehabilitation/replacement of Douglas Road, including intersection improvements at Highway 1. Thornton has met with Larimer County staff to discuss possible coordination of projects and will continue coordination efforts through the design and construction of the TWP.

2.f Description of Recent and Present Uses of the Site such as Pasture, Irrigated or Dry Land Crops, Etc.

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 2.f, and the criteria and standards described in LUC Section 14.10.D.10.

The majority of the TWP corridor within unincorporated Larimer County is located in areas categorized as rural lands as shown on **Figure 2.f**. The majority of zoning within the TWP corridor is designated as farming and open zoning districts. The water pipeline and fiber optic cable will be buried and land use effects on agricultural and other similar use will be temporary during construction and is anticipated to be minimal after construction. Agricultural use within the permanent easement can continue after construction. **Figure 2.e.1-1** shows the zoning within the TWP corridor in Larimer County.

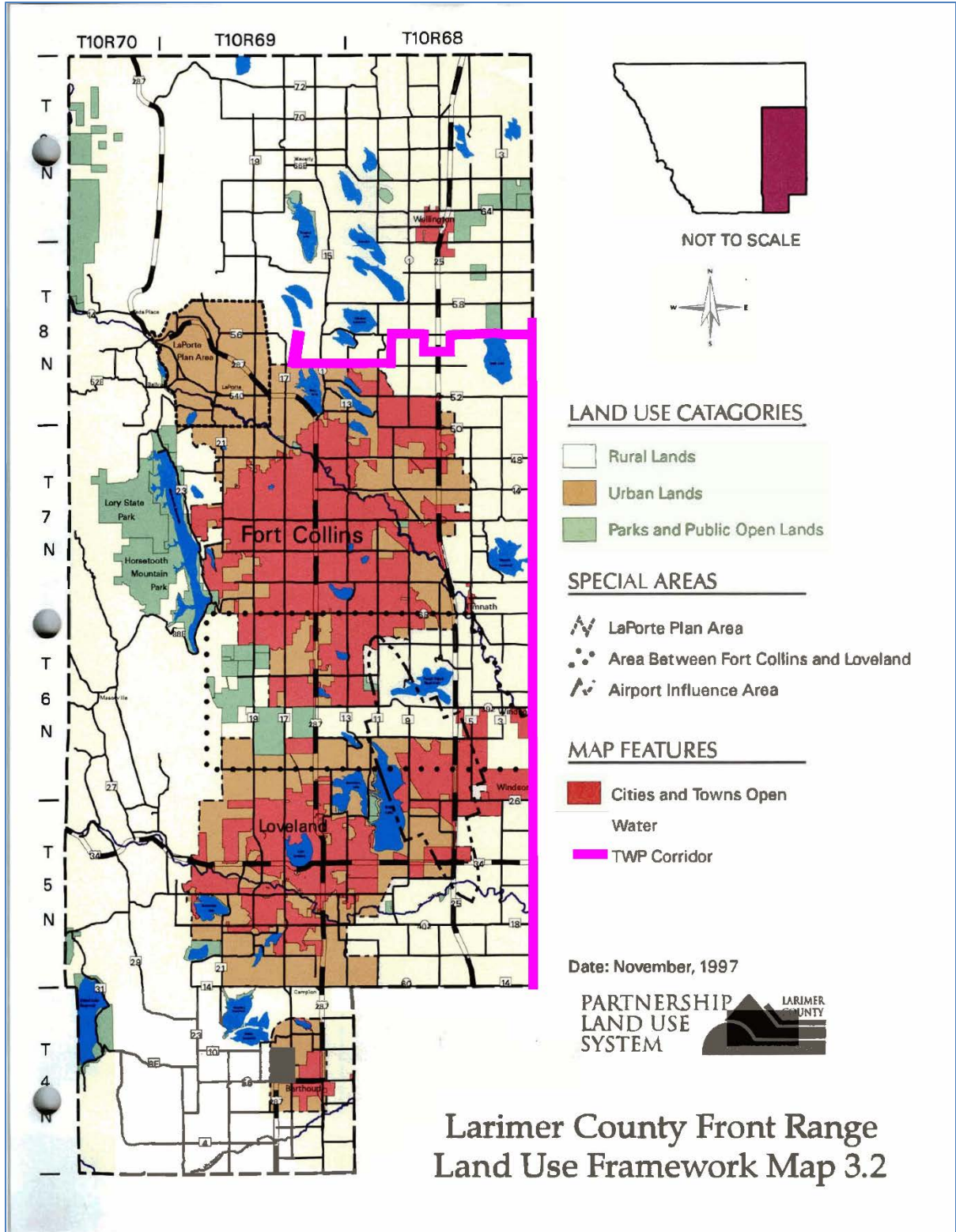


FIGURE 2.f
 Larimer County Front Range Land Use Framework Map 3.2 with TWP Corridor

Vegetation provides some indication of land uses. For example, nonnative upland vegetation typically occurs in areas that have been historically disturbed by heavy grazing, tilling, and hay production. Vegetative communities are described in and are shown on figures in the Natural and Cultural Resources Assessment Report in **Appendix C**. Vegetation types found in the TWP corridor are presented in **Table 2.f**.

TABLE 2.f
 Vegetative Communities within the TWP Corridor in Larimer County

Vegetative Community	Approximate Total Acres in TWP Corridor	Description
Agricultural Lands	1,193	Tilled or managed agricultural lands.
Developed/ Disturbed Areas	808	Have received heavy human use, including buildings and surrounding disturbed areas, livestock concentration areas, roads, trails, and other developed areas.
Nonnative Upland	649	Occurs throughout the TWP corridor in areas that have been historically disturbed by heavy grazing, tilling, and hay production.
Mixed Upland	54	Occurs primarily in historically undisturbed upland areas.
Wetlands	43	Fringes or wide benches along drainages, roadside swales, ponds and lakes, and isolated depressions
Riparian	7	Moist areas along larger tributaries and rivers.

2.g Description of the Information Obtained on the Site Inventory Map(s) (See 4. Below) and Any Mitigation Measures Proposed to Address Existing Hazards or Adverse Impacts of the Project on Existing Conditions

This section addresses *Larimer County Procedural Guide for 1041 Permit*, Item 2.g.

A description of the Site Inventory Maps can be found in Section 4. Mitigation measures for resources are presented throughout this Application as presented in **Table 2.g**.

TABLE 2.g
 Impacted Existing Condition Reference to Mitigation Measures Location in Application

Impacted Existing Condition	Impact	Application Section Reference
100-Year Floodplains	Mitigable	Section 8.f, Floodplain Hydraulic/Hydrologic Modeling Report
Wildfire Hazards	No Significant Impact	Section 8.c, Natural Hazard Mitigation Plan
Geological Hazards	Mitigable	Section 8.c, Natural Hazard Mitigation Plan
Cultural	No Significant Impact	Appendix C, Natural and Cultural Resources Assessment Report
Jurisdictional Waters	No Significant Impact	Section 8.a, Wetland Mitigation Plan and Appendix C, Natural and Cultural Resources Assessment Report
Vegetation	Mitigable	Appendix C, Natural and Cultural Resources Assessment Report

TABLE 2.g
 Impacted Existing Condition Reference to Mitigation Measures Location in Application

Impacted Existing Condition	Impact	Application Section Reference
Wildlife	Mitigable	Section 8.b, Wildlife Conservation Plan and Appendix C, Natural and Cultural Resources Assessment Report
Special Status Species	Mitigable	Section 8.b, Wildlife Conservation Plan and Appendix C, Natural and Cultural Resources Assessment Report
Transportation	Mitigable	Section 8.d, Traffic Impact Study
Drainage and Erosion	Mitigable	Section 8.e, Drainage and Erosion Control Report and Plan
Groundwater	Mitigable	Section 8.g, Groundwater Modeling Report
Noise	Mitigable	Section 8.k, Noise Analysis
Air Quality	Mitigable	Section 8.l, Air Quality Impact and Mitigation Report
Public Health and Safety	Mitigable	Section 2.h

2.h Description of Any Potential Negative Impacts of the Project to Public Health and Safety and Mitigation Measures Proposed to Address the Impacts

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 2.h, and the criteria and standards described in LUC Sections 8.12, 14.10.D.3, 14.10.D.6, and 14.10.D.11.

Environmental Hazards

Thornton and the TWP contractors will provide and maintain sanitary accommodations for the use of their employees during construction of the TWP in a manner that complies with the requirements and regulations of health departments and other governmental bodies. These accommodations, including trash dumpsters and portable toilets, will be located in several locations along the TWP construction site based on the general plan for construction. Construction waste will be stockpiled in construction staging areas and removed from the construction site during the construction process. Garbage dumpsters will be emptied approximately every 1 to 2 weeks. Possible staging areas are shown on **Figure 2.a-1**. The TWP will not include the need for permanent dumpsters or sanitary facilities.

Construction, operation, and maintenance activities will follow best management practices for the management of wastes to avoid and minimize impacts from potential spills or other releases to the environment. These practices are discussed in greater detail below. Adverse impacts from the release of construction or operations wastes are not expected.

Hazardous Materials and Waste Management Mitigation Measures

Construction, operation, and maintenance activities involving Thornton or the TWP contractors bringing any hazardous materials onto the site will comply with applicable federal, state, and local laws and regulations regarding the handling, storage, disposal, transportation, and use of hazardous substances. In its contract with the TWP contractors, Thornton will require that the TWP contractors comply with applicable laws.

If trenching activities uncover previously unknown areas of contamination that are apparent, work will be stopped until the party responsible for such contamination has properly managed and/or disposed of such contamination.

Construction staging areas will be located and arranged in a manner to preserve trees and vegetation to the extent feasible. Excavated material or other construction materials will not be stockpiled or deposited near or on stream banks or other watercourse perimeters where they could be washed away by high water or storm runoff, or could encroach upon stream banks. Best management practices will be implemented for stormwater management. A summary of BMPs to protect water resources from potential contamination is provided in **Appendix D**.

Fueling Mitigation and Safety Measures

If possible, fueling requirements will be met prior to arrival at the construction site. Heavy equipment left on site for construction activities will require onsite fueling at staging areas or the construction site. No bulk fuel storage is anticipated to occur on site. Fueling vehicles will be equipped with spill kits and fire extinguishers, and personnel will be properly trained in spill prevention, control, and countermeasures.

To minimize the potential for a spill during fuel transfers and be prepared in the event of a spill, the following measures will be followed (including the Code of Colorado Regulations [CCR] and Code of Federal Regulations [CFR] that will be followed during loading/unloading of fuel):

- Keep fire away while loading/unloading. Persons in the vicinity are forbidden to smoke, light matches, or carry any flame or lighted cigar, pipe, or cigarette. 49CFR 177.834(c, d)
- Fuel will not be loaded/unloaded from any motor vehicle while the engine is running. The exception is when the engine of the vehicle is to be used in the operation of the pump. 49CFR 177.837(a)
- The fuel tank records will be reviewed to determine the theoretical fuel tank level. 7CCR 1101-14 S2-3-1 and S2-4-2(a)(2)
- The fuel tank level gauge will be inspected to determine the actual fuel tank level before unloading takes place. (Note: Any fuel tank level discrepancies will be resolved prior to hooking up to the fuel tank.) 7CCR 1101-14 S2-3-1 & S2-4-2(a)(2)
- The supply truck driver will observe the transfer during the entire operation. 49CFR 177.834(i)(2)
- Once the truck is in position, its emergency brake will be applied and reasonable precautions will be taken to prevent motion of the truck during unloading (example: utilize wheel chocks when parked on an incline). 49CFR 177.834(e)
- Signs must be posted that remind drivers not to pull away before detaching hoses. 40CFR 112.7(h)(3)
- Containers and cargo tanks will be grounded prior to and during transfer. 49CFR 177.837(b) & (c)
- The transfer line must be properly disengaged, and the valves and piping of both the fuel tank and truck must be checked for leaks before allowing the truck to leave the site. (40CFR 112.7 h(4) for trucks)

Traffic and Roads and Mitigation Measures

Impacts caused by construction equipment and activity on Larimer County roads will be short term during construction. Access will be maintained for local area residents. Emergency vehicle

access needs will be maintained and construction activities coordinated with local fire departments, police departments, ambulance services, and other emergency responders as necessary. Thornton places a high priority on safety during construction. TWP contractors will implement traffic management plans based upon local traffic control requirements and general safe operating practices. Proper signage, flaggers, lighting, speed limits, work hours, postings, notifications, and other precautionary safety measures will be taken to protect the residents of Larimer County and TWP contractors' employees.

The water pipeline construction will utilize trenchless construction methods under Larimer County roads where required by Larimer County, resulting in little to no disruption to traffic at those locations. Temporary traffic delays and detours will be needed where the water pipeline is installed by open-cut construction across existing roads. Traffic disruption will be temporary, and will cease after construction. Traffic control plans will be implemented prior to construction, subject to approval and acquisition of permits from Larimer County Engineering.

Additional information and mitigation measures are presented in Section 8.d.

Emergency Procedures

Thornton owns and operates an extensive network of water pipelines that deliver raw and finished water to Thornton facilities and customers in residential and business areas. Providing reliable water requires that Thornton have quick access to parts and equipment to maintain or repair pipelines and related facilities, and the same will apply to the TWP. The TWP pump stations inside and outside of Larimer County will include emergency automatic shutdown control. Pump stations will undergo automatic controlled shutdown if a sudden pressure drop or increase occurs or sudden changes in water tank levels occur that indicate a water pipeline break, valve closure, or blockage.

One of the greatest risks to buried pipelines is excavation by individuals unaware of the location of a pipeline. Pipeline markers will be installed in the pipeline permanent easement to indicate that a water pipeline is buried nearby. The markers will identify the water pipeline, Thornton as the pipeline operator, the operator's 24-hour emergency contact number, and the area's utility notification number. Marking tape indicating that a water pipeline is buried in the location will also be installed above the water pipeline for the entire length of the water pipeline. The majority of the water pipeline in unincorporated Larimer County will be located within permanent easements. This approach reduces the probability that individuals could damage the water pipeline with ground-disturbing activities.

The water pipeline will be designed and constructed to be water tight. Pipe materials will be required to undergo shop testing before installation as well as hydrostatic field testing after installation.

The water pipeline, water tank, and other appurtenances will be coated and lined to prevent corrosion. As an additional safety measure, project components will be installed with cathodic protection, which will control the corrosion of a metal surface. Cathodic protection systems are commonly used to protect steel water pipelines and storage tanks.

An emergency response plan will be developed for the construction and the operation phases of the TWP. The plan will be written to include identification of emergency response departments near the TWP area, including how and when to communicate with the Loveland Rural Fire Protection District, Poudre Fire Authority, Windsor-Severance Fire Protection District, and the Larimer County Sheriff, as applicable.

2.i Description of Existing and Proposed Utilities and Facilities Needed to Provide Adequate Public Facilities (See Section 8.1 of the Code), and How Adequate Facilities will be Provided

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 2.i, and the criteria and standards described in LUC Sections 8.1, 8.15, 8.16, and 14.10.D.8.

The TWP will not have a negative effect on local government or any other existing public facilities and services. The construction, operation, and maintenance of the underground water pipeline and associated facilities will not require any new public facilities or impact existing services such as police, fire, waste water, and healthcare. During construction of the water pipeline short-term disruptions could occur to domestic water service if utility requires relocation. Area residents will be notified in advance of any service disruptions. The TWP will employ Thornton employees, a construction management team, and contractors to construct the TWP. It is anticipated that Thornton will provide approximately 10 to 15 employees during the construction phase. No lodging or temporary housing is expected to be required for Thornton employees or the construction management team. Contractors for the construction phase of the TWP will be hired. The TWP contractors will provide construction crews that are not anticipated to exceed approximately 100 workers at any one time. Some workers may reside outside of the local areas and will require lodging or temporary housing. The number of construction workers on site will depend on the contractor and the construction activity occurring during a particular time. Thornton will endorse hiring local workers.

2.i.1 Sewage Disposal

During construction, portable toilets will be placed in several locations along the TWP construction site based on the general plan for construction. The TWP will not include the need for permanent sanitary facilities as the water tank and source water pump station will be unmanned facilities.

2.i.2. Water Supply

Thornton will supply water in portable storage containers for hand washing and eye rinsing at the source water pump station.

During construction, bottled water, water cooler service, or another temporary drinking water source will be provided to construction workers for drinking water. Up to approximately 17 million gallons of water will be used for hydrostatic testing the water tank and the section of the water pipeline from the source water pump station to County Road 14, including sections outside unincorporated Larimer County. Hydrostatic pressure testing will be completed after the water pipeline has been backfilled to verify that the water pipeline is capable of withstanding the designed maximum allowable operating pressure. It is anticipated that the water pipeline will be tested in sections. Where feasible, water will be routed from one section of the water pipeline to another to recycle hydrostatic test water. Water sources for testing could include nearby fire hydrants, water pipelines, WSSC Reservoir 4 and the Larimer County Canal.

Additional water will be used as needed during construction for dust suppression (approximately 8.7 million gallons) and soil conditioning to obtain the required backfill compaction (approximately 7.2 million gallons). After construction, water will be required for revegetation (approximately 4.7 million gallons). Thornton and/or the TWP contractors will negotiate purchase of water deliveries from municipal and/or private sources.

The source water pump station will be an unmanned facility and is not anticipated to require a connection to a permanent drinking water source. Any water needed inside the source water pump station for cleaning and maintenance could be pulled from a tap on the water pipeline if

design parameters can be met. A connection to the local water distribution system is not anticipated at this time.

2.i.3 Fire Protection

During construction, fire extinguishers will be located at designated areas along the TWP including but not limited to staging area and areas of heavy machinery such as trenchless operations. In addition to the fire extinguishers, fire hydrants are located along the roadway adjacent to the proposed source water pump station site. Due to the water pipeline running along roads and mostly within agricultural land, the availability of fire hydrants during water pipeline construction is limited and not anticipated to be needed. The TWP contractor is responsible for an emergency response plan that includes fire protection and fire emergencies.

Because the water pipeline is an underground utility, there is no need for fire protection post-construction. Final design of the source water pump station will meet fire protection level of service standards as required in LUC Section 8.1.4 and building code requirements. Thornton will submit a Site Plan Review permit application to Larimer County in accordance with LUC Section 6.0. Poudre Fire Authority Station 12 is the nearest fire station to the source water pump station and is approximately 3 miles away.

2.i.4 Road

Access along the final water pipeline alignment will be along roadways, at existing access locations when practicable, or via properties owned by Thornton that are within the construction work limits. New access locations are anticipated to be required for temporary and permanent use. Thornton will obtain individual Larimer County, Colorado Department of Transportation (CDOT), and other municipal access permits for any necessary temporary and permanent access locations as applicable. If access is needed using private roads or drives, Thornton will negotiate use with the property owner. Stabilized construction entrances/exits will be installed, as necessary, at the intersections of the TWP temporary access roads with paved roads. Permanent access locations will be designed per local government standards applicable at the location of access. Temporary access will be unpaved and used primarily for transport of materials and construction workers. Temporary and permanent access locations will be closed to the public. Temporary access locations could include warning signs, flaggers, and controlled access, as necessary. Additionally, gates or other approved barriers on temporary access roads may be utilized when construction workers are not present to control unauthorized access. Temporary access locations will be restored to pre-construction conditions upon the completion of construction.

It is anticipated that access to the final water pipeline alignment will be required along Interstate 25 frontage roads, County Road 56, Douglas Road, and County Road 1. Other potential access locations, depending on the final water pipeline alignment, could be required along other local roads. A more detailed description of the possible haul routes and impacts to roads and the traveling public can be found in the Traffic Impact Study in Section 8.d.

Access to the water tank location will be along County Road 1. A new permanent gravel access will be built onto the parcel from County Road 1. This access will serve as the access for vehicles during construction as well as future maintenance. Future access requirements will be minimal as the water tank is anticipated to be unmanned with limited maintenance requirements.

Access to the source water pump station will be determined after the final site location has been determined. Access to the source water pump station is anticipated to be from Douglas Road, but is dependent the final location. Starlite Drive is a private road and, if used, use of this road will be

negotiated with the property owner. This existing dirt road could provide access for construction vehicles during construction of the pump station and for future maintenance as necessary and as approved by the property owner. The access drive and parking areas are anticipated to be gravel. Future access requirements will be minimal as this is anticipated to be an unmanned facility with limited maintenance requirements.

2.i.5 Site Improvements

The majority of the water pipeline will be located on private property. Areas disturbed by water pipeline construction will be returned to pre-construction grades and seeded with native vegetation to meet property owner preferences and regulatory requirements. Fences will be restored. Roads that will be open-cut for water pipeline installation will be restored to pre-construction condition or as required by regulatory agency having jurisdiction over the road. Storm drain systems will be restored to pre-construction conditions.

The water tank site will include a gravel access and parking area, and lighting and fencing for security will be installed in accordance with LUC Sections 8.15 and 8.16. Other disturbed areas will be returned to pre-construction grades and will be seeded with native vegetation.

No design has been completed for the source water pump station. Lighting and fencing for security will be installed in accordance with LUC Sections 8.15 and 8.16. Thornton will submit a Site Plan Review permit application to Larimer County in accordance with LUC Section 6.0.

2.j Projected Development Schedule

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 2.j.

The schedule for the TWP extends from 2016 for permitting development to 2025 for startup operations. **Figure 2.j** presents general timeline for major activities. Design and construction are anticipated to be delivered in multiple packages with overlapping schedules.

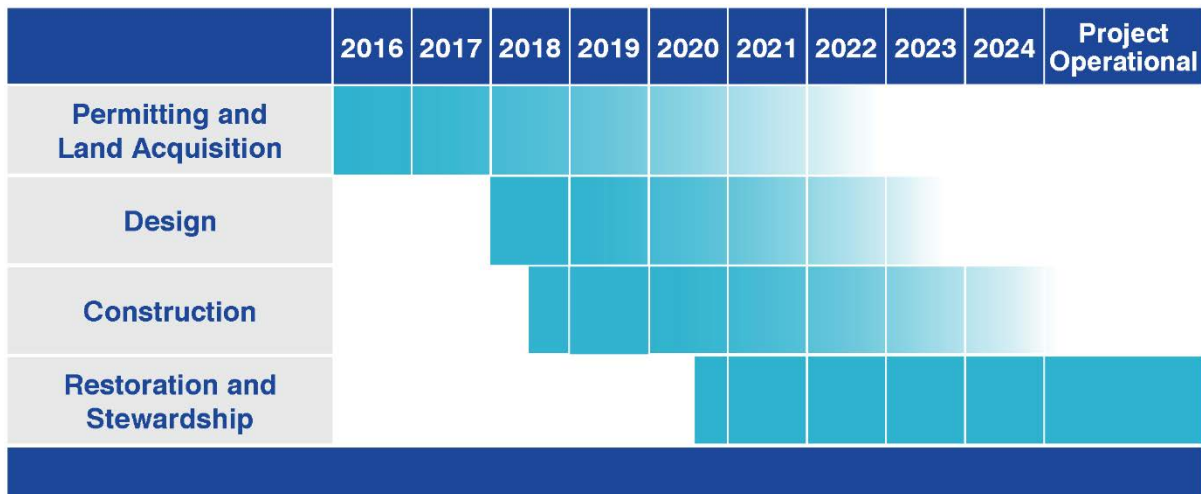


FIGURE 2.j
 TWP Timeline

Major land use permitting is anticipated to be completed in 2019. Other permits, such as contractor-obtained permits, will be acquired prior to construction. A summary table of the anticipated permits and consultations for the TWP can be found in **Table 2.j**. Additional permits and consultations may be necessary as design details progress.

TABLE 2.j
 Preliminary List of Required TWP Permits and Consultations

Agency	Permit
<i>Permits</i>	
Larimer County	1041 Permit
Larimer County	Site Plan Review
Larimer County	Sign Permit (temporary construction signage and possibly for source water pump station)
Larimer County	Miscellaneous Building Permit
Larimer County	Floodplain Permit
Larimer County	Access Permit
Larimer County	Special Transport Permit
Larimer County	ROW Construction
United States Highway Administration	United States Highway Access Agreement
CDPHE	Air Pollution Emission Notice and Construction Permit
CDPHE	Stormwater Discharge Associated with Construction Activity - General Permit
CDPHE	Construction Dewatering Discharge Permit
CDPHE	Minimal Discharge Permit for Hydrostatic Testing of Pipelines, Tanks, and Similar Vessels
Colorado Division of Water Resources (DWR)	Dewatering Well – Notice of Intent
Colorado Water Quality Control Division (WQCC)	Source Water and Design Approval for Drinking Water
CDOT	Special Use/Utility Permit
CDOT	Access Permit
CDOT	Oversized/Overweight Notification
Weld County	Use by Special Review - Pipelines
Weld County	Grading Permit
Weld County	Manufactured Structure Permit
Weld County	Building Permit
Weld County	ROW Use Permit
Weld County	Access Permit
Weld County	Floodplain Permit
Weld County	Improvements Agreement
City of Fort Collins	ROW Permit
City of Windsor	Flood Plain Development Permit

TABLE 2.j
 Preliminary List of Required TWP Permits and Consultations

Agency	Permit
City of Windsor	Curb, Gutter, and Sidewalk Permit
City of Windsor	Type I Excavation Permit
City of Windsor	Encroachment Permit
City of Windsor	Occupation of PublicROW
City of Windsor	Streets Activity/Closure Request
Town of Timnath	Site Plan
Town of Timnath	Grading
Town of Timnath	Street Cut
Town of Johnstown	ROW Work
Town of Firestone	1041
Town of Firestone	Building Permit
Town of Firestone	Fence Permit
Town of Firestone	Over Weight Vehicle Permit
Town of Firestone	Right of Way/Street Cut Permit
Town of Frederick	Development Review
Town of Frederick	General Construction Permit
Town of Frederick	ROW Permit
Town of Frederick	Oversize/Overweight Permit
Burlington Northern Santa Fe Railway	Pipeline Crossing License Request
Great Western Railway	Pipeline Crossing License Agreement
Union Pacific Railroad	Pipeline Crossing Permit
Local Irrigation and Ditch Companies	Crossing Agreement
Utilities	License Agreement/Permit
<i>Consultations</i>	
USACE	Clean Water Act Section 404 Consultation
United States Fish and Wildlife Service (USFWS)	Endangered Species Act Compliance Consultations
Colorado Office of Archaeology and Historic Preservation (OAH)	National Historic Preservation Act Section 106 Consultations
USFWS/Colorado Parks and Wildlife	Migratory Bird Treaty Act Compliance Consultations

2.k Description of the Public Input Process Prior to the Application, Including the Comments and Concerns Raised During the Process and How They are Addressed in the Proposal

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 2.k.

Public Outreach

Public outreach includes a TWP website, TWP e-mail address, and TWP phone line, Open Houses, home owner association outreach, a Community Update meeting, and stakeholder outreach.

TWP Website, TWP E-mail, and TWP Phone Line

Public outreach is not required by Larimer County's 1041 permit application process. However, to introduce the public and potentially affected property owners to the TWP, the TWP website, TWP e-mail address, and TWP phone line (www.ThorntonWaterProject.com, info@ThorntonWaterProject.com, and 720-977-6700) launched on October 28, 2016. The website, e-mail, and phone line provide opportunities for questions and the collection of input from the public and potentially affected property owners. See **Appendix B** for comments received pertaining to the TWP corridor presented for approval in this Application and corresponding responses and references to appropriate sections of this Application that further address the comments.

Open Houses

Public outreach is not required by Larimer County's 1041 permit application process. However, in order to introduce the public and potentially affected property owners to the TWP, respond to questions, and to collect input from the public and potentially affected property owners, the following Open Houses were held in Larimer and Weld Counties:

- November 14, 2016 at Southwest Weld Services Complex, 4209 Weld County Road 24 ½, Longmont
- November 16, 2016 at Poudre Valley REA, 7649 REA Parkway, Fort Collins
- December 6, 2016 at Larimer County Courthouse, 200 West Oak Street, Fort Collins
- December 8, 2016 at Johnstown Senior Center, 101 Charlotte Street, Johnstown

A total of 1,272 invitations to the Open Houses were sent to Larimer County and Weld County property owners within the initial proposed corridor and within Larimer and Weld County's major land use permit notification areas. Of the invitations sent, a total of 849 Larimer County property owners within the initial proposed corridor and within 500 feet of the initial proposed corridor were mailed invitations. Invitations were also sent to local municipality representatives and the home owners' association (HOA) near WSSC Reservoir No. 4. After the first two Open House events, a second invitation was sent to remind invitees that two Open Houses were still forthcoming. A total of 146 attendees signed in and provided addresses at one or more of the four Open Houses.

Display boards and maps that included information on the following topics were exhibited at the Open Houses:

- Overview
- Purpose and Need
- History
- Timeline

- Permitting
- Land Acquisition
- Construction
- Corridor Maps

Frequently asked questions and land acquisition brochures were available. Open House attendees were offered comment forms to provide feedback regarding route alternatives, project concerns and suggestions, and general comments. Attendees were given the opportunity to sign up for TWP updates.

The majority of attendees were interested in reviewing the initial proposed corridor. Large maps were exhibited by the TWP Team so that attendees could closely identify where the initial proposed corridor was located in proximity to their property and how the TWP could affect them. It was explained that the final alignment has not yet been developed and that one of the objectives of the Open Houses was to obtain feedback from attendees.

Written comments received from Open House attendees concerning the TWP in Larimer County have been reviewed by Thornton and are presented in **Table 2.k-1**.

TABLE 2.k-1
2016 TWP Open House Comments

Comment	Response/Action	Relevant Application Section
Please send information by mail.	Thornton has noted in TWP update request records that property owner requests mailed information.	N/A
High ground water. When City fixed drainage across Douglas Road it caused damage to privately maintained residential road.	Commenter did not indicate who "City" is in comment. Thornton assumes "City" is agency who maintains the road. Thornton will note possible location of groundwater and provide information to Designer.	N/A
We are in the direct line proposed and we want information on the impact on our property.	No final water pipeline alignment has been developed to date and no specific information is currently available. Land Acquisition activities are scheduled to begin in 2017. Thornton will reach out to property owners during land acquisition phase to help develop best location for the water pipeline.	Section 2.a.2
I see that your corridor as shown on the map, would greatly affect our house and neighborhood. If you were to keep the pipeline on Douglas Road or go west and north of our block (Area 9) it would be the least intrusive and less populated. There is no room between our houses and I sincerely doubt you would find 4 houses willing to sell. There are fewer houses to the north and definitely more property. According to the map our area is the highest density of houses. So please take this into consideration as you plan to do this project.	No final water pipeline alignment has been developed to date and no specific information is currently available. Land Acquisition activities are scheduled to begin in 2017. Thornton will reach out to property owners during land acquisition phase to help develop best location for the water pipeline.	Subsequently the TWP corridor was finalized and property is outside the preferred corridor. See Section 2.a.2; Section 3; Appendix A (<i>Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9</i>)
Please put story board information on website.	Display board information has been posted to the TWP website.	N/A
We'll keep watching. Nice start, great maps, well-informed staff members.	Thank you for attending e-mails were sent to attendees.	N/A
Following Douglas Road would be the least residential impact. We are in section 59. Please don't use our property or street.	No final water pipeline alignment has been developed to date and no specific information is currently available. Land Acquisition activities are scheduled to begin in 2017. Thornton will reach out to property owners during land acquisition phase to help develop best location for the water pipeline.	Subsequently the TWP corridor was finalized and property is outside the preferred corridor. See Section 2.a.2; Section 3; Appendix A (<i>Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9</i>)

TABLE 2.k-1
2016 TWP Open House Comments

Comment	Response/Action	Relevant Application Section
I would like to have the GIS information for the northern reaches of the project. We are working with CSU on master plan at the Agricultural Research, Development and Education Center (ARDEC).	At this point, we don't have any CAD files for the Project, and our GIS files reflect our Project preferred corridor with no specific pipeline location yet identified. You can find a copy of the preferred corridor map on our website: https://thorntonwaterproject.com/wp-content/uploads/2016/10/project_corridor_map.pdf . We can provide you with a more detailed map of the corridor in the area of ARDEC, but based on the information we currently have, I believe it is more likely that the Project would be constructed on Thornton's property adjacent to (south and east of) ARDEC, rather than on the ARDEC properties. If you are aware of plans that would indicate it would be beneficial for ARDEC or Thornton to construct the pipeline on ARDEC property instead, we'd certainly like to hear about and discuss those plans with you.	Section 2.a.2
Thank you for the info.	Thank you for attending e-mails were sent to attendees	N/A
Helpful well-informed people who listen and interact well with us. Appreciate the chance to get information on the project. Look forward to being able to work with project personnel as the project proceeds.	Thank you for attending e-mails were sent to attendees.	N/A
People very friendly and knowledgeable. Thank you for all of your considerations thus far and willingness to minimize impact on property. Good to have this meeting. We will know who you are when you call us in the future.	Thank you for attending e-mails were sent to attendees.	N/A
Thank you for reaching out to the local stakeholders fascinating and impressive project. Good luck to you.	Thank you for attending e-mails were sent to attendees	N/A
We will cooperate in any way we can within reason. Good luck!	Thank you for attending e-mails were sent to attendees.	N/A

Open House documents can be found in **Appendix B**.

Home Owner Association Outreach

Public outreach is not required by Larimer County's 1041 permit application process. However, Thornton presented TWP information to HOA groups in Larimer County near WSSC Reservoir No. 4 on Monday, February 27, 2017 at the Northside Aztlan Center in Fort Collins, CO. This presentation was requested by area residents, and was attended by Board Members and residents of Eagle Lake HOA, Braidwood HOA, Woody Creek HOA, other area residents that were not affiliated with an HOA, and a representative from Save the Poudre. The HOA groups provided the notification for the meeting, and 47 attendees signed in and provided an address. The presentation included information on population growth estimates for the Front Range, Colorado water needs, Thornton's water system, TWP purpose and need, corridor study activities, projected permitting activities, general water pipeline routing discussions, Thornton owned farms, reservoir water levels, source water pump station construction, and TWP schedule. The presentation and meeting summary can be found in **Appendix B**.

Community Update Meeting

Public outreach is not required by Larimer County's 1041 permit application process. However, to introduce the public and potentially affected property owners to the TWP, respond to questions, and collect input from the public and potentially affected property owners, a Community Update meeting was held in Larimer to present the results the alternative analysis from the connection to the WSSC system to approximately County Road 9 requested by Larimer County staff. The Community Update meeting was held on September 12, 2017 at the Larimer County Courthouse in Fort Collins.

Thornton and Larimer County received feedback from area residents near WSSC Reservoir No. 4 concerning the initial proposed corridor that was presented at Open Houses and the HOA presentation. Based on that feedback, Larimer County staff requested that an analysis of alternative pump station locations and water pipeline alignments be included in the Application. Larimer County staff indicated that the alternative analysis should be conducted from the connection to the WSSC system to approximately County Road 9. No revisions to the initial proposed corridor east of County Road 9 were required, and Thornton understands that the $\frac{1}{4}$ to $\frac{1}{8}$ -mile corridor continues to be acceptable for the Application.

Nine hundred seven property owners within the Larimer County alternative configuration analysis area were mailed invitations to the Community Update meeting, and an additional 215 people were e-mailed invitations. People who were e-mailed invitations had provided their e-mail addresses via the TWP website or via comment cards or sign-in sheets from previously held Open Houses. One hundred fifty-three attendees signed in and provided an address at the Community Update meeting.

Display boards and maps that included information on the following topics were exhibited at the Community Update:

- Overview
- History
- Timeline
- Permitting
- Potential Route Maps Used in the Analysis

Thornton presented the results of the alternatives analysis, and Larimer County staff presented information regarding Douglas Road improvements included in the *Larimer County Transportation Master Plan*.

Frequently asked questions and land acquisition brochures were available. Thornton also provided forms for the attendees to submit written comments, and has reviewed each comment provided by the attendees. Attendees were given the opportunity to sign up for TWP updates.

Community Update Meeting documents can be found in **Appendix B**.

Verbal and written comments received from Community Update Meeting attendees are presented in **Table 2.k-2**.

TABLE 2.k-2
September 12, 2017 Community Update Meeting Verbal and Written Comments

Comment	Thornton Response	Larimer County Response	Relevant Application Section
<i>Verbal Comments</i>			
If the pipeline needs to go outside Douglas Road ROW, what side of the road is Thornton anticipating the pipeline would be located?	Thornton has been focusing mostly the north side, but further evaluation is required.		Section 2.a.2
How wide is the current Douglas Road ROW? How wide will the future Douglas Road ROW be?		<i>The current Douglas Road ROW is typically 60 feet wide but is wider at some locations near developments. The future ROW width is not yet defined. Future improvements could include two 12-foot travel lanes, a center turn lane, and borrow ditches on either side of the road. This could require an additional 12 feet of ROW on either side. The ultimate width will be determined during design.</i>	N/A
Many residents have no other access to their homes other than Douglas Road.	Thornton and designers will take this into consideration. Standard practice for this type of project would include coordination with property owners, first responders, other projects, and governing agency such as Larimer County. The construction drawings could include access plans.		Section 2.a.2; Section 2.e; Section 2.h; Section 8.d
Both sides of Douglas Road have been annexed into Fort Collins.	Larimer County records indicate that Fort Collins has annexed property located on the south side of Douglas Road west of Turnberry. Records also show that Fort Collins annexed the ½-mile of Douglas Road adjacent to this property, but no property on the north side of Douglas Road. Thornton will investigate and, if needed, obtain permits from Fort Collins as required.		Section 3

TABLE 2.k-2

September 12, 2017 Community Update Meeting Verbal and Written Comments

Comment	Thornton Response	Larimer County Response	Relevant Application Section
Will Thornton put the alternative figures on the TWP website?	Yes, figures will be uploaded to ThorntonWaterProject.com.		N/A
Confirm that South 2 is the preferred alternative and that project construction may occur in multiple locations at the same time. Thornton has indicated that a coordinated project could include up to three separate entities. Commenter does not believe that coordinated projects can occur in the TWP schedule and doesn't believe that Northern Integrated Supply Project (NISP) will happen. Douglas Road was not on the drawing board initially. How does Thornton perceive coordination occurring?	South 2 is the preferred alternative with or without a coordinated project. The project could be constructed in multiple locations at the same time. The first step is to obtain Larimer County approval of the 1041 permit application and then Thornton will work with Larimer County. There is a lot of heavy lifting required, but Thornton believes that a coordinated project is achievable.		Coordinated project comment: N/A; Preferred alternative comment: Appendix A (<i>Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9</i>)
How does Thornton get to choose what reservoir the water comes from?	Thornton's decree for Water Supply and Storage Company (WSSC) shares indicate that water will be taken from WSSC Reservoir No. 4.		N/A
Is Central still the preferred route?	Based on the alternative analysis results, South 2 is the preferred route.		Appendix A (<i>Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9</i>)
How will this project, if coordinated with multiple entities, compare to the Willox project in Fort Collins that includes a sewer line and road improvements?		The Willox project is an example of a coordinated effort of two projects. A coordinated project between Larimer County and Thornton could be similar and will require extensive prior planning. The pipeline would be constructed prior to road improvements.	N/A
Will there be a roundabout at the intersection of Douglas Road and Highway 1?		No. The plan is to install a traffic signal.	N/A

TABLE 2.k-2

September 12, 2017 Community Update Meeting Verbal and Written Comments

Comment	Thornton Response	Larimer County Response	Relevant Application Section
<p>When residents last met with Thornton, North 1 was discussed. Homes along Starlite Drive are some of the oldest in the area and will be affected by vibration. Homes in the area have experienced problems from cracking and damage and have undergone home repairs in basements. Residents don't want uninhabitable basements. Thornton has indicated moving forward with a Douglas Road alignment. Eagle Lake and Woody Creek communities have been heard from but Starlite residents are getting chopped down at the knees. Starlite Drive is the only access to the pump station location just south of WSSC Reservoir No. 4. Residents want you out of Starlite Drive. Starlight owners agree with these thoughts and think the preferred route should be North 1 or North 2 because those alternatives have less impact on everyone.</p>	<p>Designer will take into consideration existing conditions including soil properties, and mitigation measures will be implemented to protect properties. TWP Contractors will be required to implement safety plans during construction. The pump station location could be any place along the alignment between the connection to the WSSC Reservoir No. 4 and the outlet connection to Douglas Road. Access could occur from a new access on Douglas Road.</p>		<p>Section 2.a.2; Section 2.e; Section 2.h; Section 8.d; Appendix A (<i>Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9</i>)</p>
<p>Appreciative of Thornton looking at the temporary environmental impacts due to construction. What are the environmental impacts resulting from changes in reservoir levels? Larimer County regulation 8.b requires environmental studies (Land Use Code 8.B?).</p>	<p>Historically, reservoir levels fluctuate seasonally. That is their intended use. Reservoirs fluctuate during irrigation season and during drought conditions. WSSC operates the reservoirs, not Thornton. If Thornton water were to be taken out of WSSC Reservoir No. 3, there would be no need to send Thornton water to WSSC Reservoir No. 4. Thornton has configured all alternatives to take water from WSSC Reservoir No. 4. This will maximize Thornton's storage capacity, which is very important as well as meeting the resident's concerns that Thornton water will continue to flow to WSSC Reservoir No. 4. Thornton will address environmental impacts as required in the permit application.</p>	N/A	

TABLE 2.k-2

September 12, 2017 Community Update Meeting Verbal and Written Comments

Comment	Thornton Response	Larimer County Response	Relevant Application Section
Provide additional explanation of the 500-foot corridor that Thornton plans to include in the permit application. Some homes are located within that 500-foot corridor.	The intent is to locate the pipeline within Douglas Road ROW. Larimer County recommended to Thornton that a 500-foot wide corridor be included in the permit application. If existing infrastructure in Douglas County Road requires the pipeline to be located outside ROW for short distances, Thornton will not have to apply for another permit if the pipeline is located within the permitted corridor. Thornton will work with property owners for the best location on private property to minimize impacts. The goal is to locate the pipeline within Douglas Road ROW to the extent feasible.		Section 2.a.2
Are Douglas Road improvements going to occur regardless of Thornton's project?		Yes. Improvements for sections of Douglas Road are included in the draft <i>Transportation Master Plan</i> , including a traffic signal at Highway 1. The Master Plan does not include the need for improvements for bicycle and pedestrian lanes that would be beneficial to the community. Larimer County is looking for ways to leverage funding for improvements.	N/A
Are there plans for improvements to make Douglas Road better for freight truck traffic to/from Highway 287?		No. This is not included in the draft <i>Transportation Master Plan</i> .	N/A

TABLE 2.k-2

September 12, 2017 Community Update Meeting Verbal and Written Comments

Comment	Thornton Response	Larimer County Response	Relevant Application Section
Thornton plans on obtaining a 50-foot easement for a 48-inch pipeline. Does Thornton reserve the right to install another pipeline in the easement in the future?	Thornton will obtain a 50-foot permanent easement where the pipeline is located on private property. An additional 40-foot temporary construction easement is needed for construction. If the pipeline is within road ROW, Thornton would like a minimum of 10 feet clear on either side of the pipeline from other utilities. The pipeline capacity will convey Thornton's current shares to Thornton. If the pipeline needs to be replaced after reaching the life of the system, then there is a possibility that a replacement pipeline could be installed within the easement and the older pipeline would be decommissioned.		N/A
Douglas Road has truck traffic, multiple community access locations, many utilities in the road, and there are current development plans for 150 homes along Douglas Road.	Engineering will determine locations of utilities and will design the pipeline to minimize impacts. Access will be maintained for residents.		Section 2.a.2; Section 2.e; Section 2.h; Section 8.d
How much of the entire project does the alternatives figure map represent?	The alternatives shown in the figure represent approximately 5 miles of the over 70-mile long project. There are 11 miles of pipeline in Thornton.		N/A
What are the traffic counts along County Road 56 that were used in the analysis? Did Thornton consider residential occupancy in the analysis?	The traffic counts used in the analysis are from Larimer County publicly available traffic data. Utilizing traffic counts provides an indication of the occupancy near each alternative analyzed. Alternative South 2 had the worst score for the traffic evaluation criteria due to the pipeline being located within Douglas Road. Each evaluation criterion was weighted equally so that no one criterion was deemed more important than another. Data used in the analysis will be included in the permit application.		Appendix A (<i>Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9</i>)

TABLE 2.k-2
 September 12, 2017 Community Update Meeting Verbal and Written Comments

Comment	Thornton Response	Larimer County Response	Relevant Application Section
Is there planned increase in storage for Kluver Reservoir?	WSSC reservoirs are operated by WSSC. Thornton is not aware of any plans for increased storage.		N/A
Does the owner of the property designated for the South 2 pump station location have a say in the location? Resident along Starlite Drive does not want the pump station located across the street.	Yes, Thornton has been in contact with the property owner and will work with them on the best location in that area. The pump station could be located any place along the pipeline route from the connection to WSSC Reservoir No. 4 and Douglas Road.		Section 2.a.2
What is the timeline for the Larimer County permit application?		Larimer County recommends that Thornton not submit the application for a minimum of 60 days because of current planning case work load and commissioner hearings. After the application is deemed complete, the Board of County Commissioners hearing will be scheduled within 90 days.	N/A
Is South 2 Larimer County's preference?		Larimer County Planning will need to review the application prior to making a determination.	Appendix A (<i>Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9</i>)
How loud will the pump station be?	The pump station will meet Larimer County's noise ordinance. Noise attenuates with distance and mitigation measures will be implemented inside the building to minimize noise.		Section 8.k
What is the size of the pump station building?	Based on the conceptual plan, the building is anticipated to be 120 feet by 90 feet; the height depends on the architecture.		Section 2.a.2

TABLE 2.k-2

September 12, 2017 Community Update Meeting Verbal and Written Comments

Comment	Thornton Response	Larimer County Response	Relevant Application Section
If Larimer County does not approve South 2, which alternative is Thornton's second choice?	It would be one of the other alternatives with a relative cost to- evaluation criteria ratio score similar to South 2. The alternative needs to be economically achievable for Thornton to implement.		Appendix A (<i>Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9</i>)
When will Larimer County determine the width for the future Douglas Road ROW?		Larimer County will need to survey the existing road and begin design efforts to determine future width. Coordination efforts will take place first to establish feasibility and timeline for a coordinated project.	N/A
How can Larimer County approve a permit when they don't know specifically what the project will look like?	The intent is to locate the pipeline within Douglas Road ROW. Larimer County recommended to Thornton to include a 500-foot wide corridor in the permit application. If existing infrastructure in Douglas County Road requires the pipeline to be located outside ROW for short distances, Thornton will not have to apply for another permit if the pipeline is located within the permitted corridor. Permitting a corridor allows Thornton to work with property owners on the best location on private property to minimize impacts. The goal is to locate the pipeline within the Douglas Road ROW to the extent feasible.		Section 2.a.2
Multiple residents commented that the project should be located in the north section.	Noted.		Appendix A (<i>Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9</i>)

TABLE 2.k-2
 September 12, 2017 Community Update Meeting Verbal and Written Comments

Comment	Thornton Response	Larimer County Response	Relevant Application Section
Multiple residents expressed appreciation to Thornton for conducting the analysis, for outreach efforts, and for the work completed to date.	Noted.		N/A
Confirm that if 50 feet is required to construct the pipeline and the current ROW is 60 feet, travel on Douglas Road will not be possible.	Thornton will obtain a 50-foot permanent easement where the pipeline is located on private property. An additional 40-foot temporary construction easement is needed for construction. If the pipeline is within the road ROW, Thornton will minimize work limits as directed by Larimer County. The proposed 90-foot work limits are intended for open areas and reduces construction time. Reducing the work limits will increase the time to construct the pipeline.		Section 2.a.2; Section 2.e; Section 2.h; Section 8.d
Multiple residents expressed concern with construction within Douglas Road and the impacts to residents if reduced to one-lane travel or complete road closure.	Noted.		Section 2.a.2; Section 2.e; Section 2.h; Section 8.d
Multiple residents commented on their concern with the NISP coming through the same area 5 years later and having to go through this process and construction all over again and urge Larimer County and Thornton to find a solution that is coordinated with NISP.	Noted.		N/A
<i>Written Comments</i>			
Thank you for holding the meeting. The main presenter did a very good job.		N/A	N/A

TABLE 2.k-2

September 12, 2017 Community Update Meeting Verbal and Written Comments

Comment	Thornton Response	Larimer County Response	Relevant Application Section
<p>You heard many comments opposed to this project. Letter Enclosed! (see Appendix B for letter) Please consider a less destructive route and road for your project! Run the pipe across fields and County Rds. Thank you!</p>		N/A	<p>Section 2.h; Section 8.d; Section 8.k; Appendix A (<i>Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9</i>); Appendix C</p>
<p>My husband and I took a ride on County Road 56; this is the route for you to run the pipeline!! The homes or structures are recessed and set way back. Why Douglas Road? You would be wiping out homes, fences, trees, and other structures. Many of us have lost our Grandparents and Parents, and have planted trees as a "Living Memorial" to them. You would be so bold and brazen as to come in and wipe out these memorials? What right do you have to do this? We pay taxes, too, and the road was just paved, and bicycle lanes exist now. If the lanes need to be expanded later, we do not need to blast the road and lay a 48 inch pipe to do this. Please reconsider your route as you say repeatedly on the website and brochures that exact location has not been determined. Thank You!</p>		N/A	<p>Appendix A (<i>Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9</i>)</p>
<p>Common sense says the further north the better. We at Terry Point only have one access to get in and out of our neighborhood. How many years will this take? This will be a nightmare for Terry Point, Terry Shores, Starlight, Hearthfire, etc. plus new homes projected for future off Turnberry.</p>		N/A	<p>Section 2.a.2; Section 2.e; Section 2.h; Section 8.d; Appendix A (<i>Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9</i>)</p>

TABLE 2.k-2
 September 12, 2017 Community Update Meeting Verbal and Written Comments

Comment	Thornton Response	Larimer County Response	Relevant Application Section
Douglas Road will be widened regardless of Thornton's pipeline - it makes sense to have the pipeline go down Douglas. Traffic will be impacted anyway with the improvements do Douglas Road.		N/A	Appendix A (<i>Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9</i>)
Thank you for your diligence and considerations. We hope you go Douglas as planned. The road is to be enlarged and your cooperation with Larimer County is the right thing to do.		N/A	Appendix A (<i>Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9</i>)
If the City of Fort Collins does not allow Thornton to use Douglas Road at the 80 acres that just sold - what new route will be chosen next?		N/A	Appendix A (<i>Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9</i>)
Northern Water has said publicly that the only reason to pipe water down Douglas Road would be to send water from Glade Reservoir. It is extremely unlikely that approval for that reservoir will meet your timeline.		N/A	N/A
Excellent presentation. Good patience and diligence with Q & A. A pump station on the NW view of XXXX and the other 7 homes on the lake would not be good. Also everyone in the community uses the trail where the pump would be put.		N/A	Appendix A (<i>Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9</i>)
Traffic counts on County Road 56 and 54 West to East to Hwy 1, and East to West @ Hwy 1 need turn volume N & S from intersection. Explanation of math in applying factors to provide priority.		N/A	Appendix A (<i>Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9</i>)

TABLE 2.k-2

September 12, 2017 Community Update Meeting Verbal and Written Comments

Comment	Thornton Response	Larimer County Response	Relevant Application Section
<p>Please avoid Douglas Road to reduce the number of people impacted. CR 56 makes more sense.</p>		N/A	<p>Appendix A (<i>Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9</i>)</p>
<p>Appalled that Terry Point NOT included in previous meetings - feel this got dumped on us after Eagle Lake got to comment. Terry Point, Terry Shores, Terry Cove, Hearthfire are single entry/exit communities that are seriously affected. Point Townhome HOA (who has multiple units on Douglas Road) was never contacted. Shame!</p>			<p>Section 2.a.2; Section 2.e; Section 2.h; Section 8.d; Appendix B 2016 Open House Notification Area and mailing list; Multiple residents and HOAs in the area were mailed notifications. Presentations given to HOAs were delivered at the request of HOAs.</p>
<p>Don't go down Douglas Road; go north of that.</p>		N/A	<p>Appendix A (<i>Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9</i>)</p>
<p>We were unable to attend the meeting, but our property (XXX) is right on the proposed South 2 route. Could you please provide additional information about what this will mean for us? Will this extend into our property (the dotted line on the map goes through our house) or just be the shoulder/ditch of the current road? Also will the road have more lanes added? Thank you in advance for any additional information you can provide!</p>		N/A	<p>Section 2.a.2</p>

TABLE 2.k-2
 September 12, 2017 Community Update Meeting Verbal and Written Comments

Comment	Thornton Response	Larimer County Response	Relevant Application Section
<p>Please - not on Douglas Road. Douglas is too populated for this project!</p>		N/A	<p>Appendix A (<i>Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9</i>)</p>
<p>It was stated very clearly at our meeting in the County Building last week and reiterated in the newspaper this morning that property and homeowners (including homeowner associations) were consulted prior to the preferred route being announced. As residents of Terry Point, one of the areas most directly affected by this decision, we were never consulted nor asked for input. This is unacceptable! While I realize this decision is based somewhat on a partnership with Larimer County, it is inexcusable, from our perspective to not engage those most affected directly. This route impacts the most homeowners who also are not interested in creating significant road enhancements that draw more truck traffic! If you were sincerely interested in our comments, you would have found a way to do so. Holding a public meeting where you announce a preferred route and then ask for input is affront to our intelligence!</p>		N/A	<p>Appendix B 2016 Open House Notification Area and mailing list; Multiple residents and HOAs in the area were mailed notifications. Presentations given to HOAs were delivered at the request of HOAs.</p>

TABLE 2.k-2
 September 12, 2017 Community Update Meeting Verbal and Written Comments

Comment	Thornton Response	Larimer County Response	Relevant Application Section
<p>Go strictly for North #1 or North #2 only. Everyone will be happy.</p>		N/A	<p>Appendix A (<i>Larimer County Alternative Configurations Analysis – WSSC Reservoir Area to Larimer County Road 9</i>)</p>
<p>I'm a resident in Terry Shores and reviewed your website today, since I could not make the meeting on 9/12. Just wanted to say that as a bicyclist and a wife of another bicyclist that had been hit at the intersection of Douglas and Route 1 years ago, I am happy to hear there will be a light going in at the intersection and bike lanes. That stretch of road is a very scary intersection to cross, even on a Sunday when there is less traffic. If your project brings improvements to that stretch of road, I'd be very happy. I would like to know if the pavement will be fresh asphalt overlay as opposed to chip seal, which has made for some really uneven and gravel strewn and sandy shoulders along Route 1. This is really scary when you are on a bicycle. It seems as the roads have not kept up with increased growth and traffic in the 28 years I've lived there, so again if your project brings improvements, I'd be very pleased.</p>	<p>Thank you for your input regarding the TWP. It is Thornton's understanding that Larimer County staff are reviewing possible reconfigurations for Douglas Road.</p>	N/A	N/A

Stakeholder Outreach

In an effort to determine the alternative corridor least impactful to local communities in Northern Colorado, Thornton, in 2015, conducted a series of outreach meetings with local governments and agencies that could be impacted by the TWP. During the initial outreach meeting with each local government and agency, feedback was collected to determine preference(s) and/or determine potential problems for the location of the water pipeline within the local government or agency's jurisdictional and/or GMA boundaries. For information on the TWP corridor development process, see **Appendix A**.

Secondary outreach meetings were conducted with local governments and agencies that had incorporated areas or GMAs overlapping alternative corridor locations to present the initial three alternative corridors. During this second round of outreach, additional feedback was collected from the local governments and agencies and, as a result, a fourth alternative corridor, was developed as the local government's preferred corridor.

Outreach meetings were conducted with the following local governments:

- Berthoud
- Dacono
- Firestone
- Fort Collins
- Frederick
- Greeley
- Johnstown
- Larimer County
- Loveland
- Mead
- Milliken
- Timnath
- Weld County
- Wellington
- Windsor

Thornton has been in discussions with USACE beginning in 2014 to provide information on the TWP to USACE staff. Thornton will continue consulting with USACE and plans to submit a jurisdictional determination request to USACE prior to initiating design activities to determine which areas in the TWP corridor are jurisdictional waters. Design will include trenchless construction methods at jurisdictional water crossings.

Additional outreach and coordination activities included:

- Meetings with local major utility providers.
- Meeting with CDOT.
- Meeting with CPW.
- Meeting with local fire district (Poudre Fire Authority)

- Presenting the TWP at the Energy Industry Working Group (Weld County oil and gas companies) on December 15, 2016.
- Sending letters to initiate coordination activities to local irrigation and ditch companies, utility providers, railroad companies, wildlife agency outreach (CPW and USFW), Natural Resources Conservation Service, (NRCS), and local fire districts.

Stakeholder outreach information is included in **Appendix E**.

2.I Any Addition Explanation Detailing How the Application Meets the Applicable Review Criteria as Stated in the Land Use Code

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 2.I.

Table 2.I presents an evaluation criteria cross-reference guide showing how this Application meets the requirements for the *Larimer County Procedural Guide for 1041 Permits* and the LUC.

TABLE 2.1
Evaluation Criteria Cross Reference Guide

Applicable Land Use Code Requirements	N/A	Section 2 - Project Description												Section 8 - Technical Reports												Appendix																	
		1 - Application Form	2.a - General Description, Including Purpose and Need	2.b - Location and Total Area	2.c - Description of the Site Selection Process	2.d - Description of Other Alternatives	2.e - Consistency with Master Plans and Intergovernmental Agreements	2.f - Description of Recent and Present Uses of the Site	2.g - Description of the Site Inventory Maps	2.h - Description of Any Potential Negative Impacts of the Project to Public Health and Safety	2.i - Description of Existing and Proposed Utilities and Facilities	2.j - Projected Development Schedule	2.k - Description of Public Input Process	2.l - Additional Explanation	3 - Vicinity Maps	4 - Site Inventory Maps	5 - 1041 Permit Site Map(s)	6 - Reduced 1041 Site Permit Map(s)	7 - Legal Description	8.a - Wetland Mitigation Plan	8.b - Wildlife Conservation Plan	8.c - Natural Hazard Mitigation Plan	8.d - Traffic Impact Study	8.e - Drainage and Erosion Control Report and Plan	8.f - Floodplain Hydraulic/Hydrologic Modeling Report	8.g - Groundwater Modeling Report	8.h Non-Subdivision Water Inquiry	8.k - Noise Analysis	8.l - Air Quality Impact and Mitigation Report	9 - Adjacent Property Owners List	10 - Application Fee	11 - Signed Pre-Application Conference Form and Submittal Checklist	12 - Other	Appendix A - Alternative Analysis	Appendix B - Public Outreach Information	Appendix C - Natural and Cultural Resources Report	Appendix D - Best Management	Appendix E - Stakeholder Outreach					
Larimer County Procedural Guide for 1041 Permits, Submittal Requirements for 1041 Permits		√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√	√			
Section 4.0 - Zoning																																											
4.2.2 – Floodplain Overlay Zones						√																	√																				
Section 8.0 - Standards for All Development																																											
8.1 - Adequate Public Facilities						√			√													√	√			√																	
8.2 - Wetland Areas						√													√						√														√				
8.3 - Hazard Area						√														√																							
8.4 - Wildlife						√														√																							
8.5 - Landscaping						√																																					
8.6 - Private Local Access Road and Parking Standards	√																																										
8.7 - Road Surfacing Requirements	√																																										
8.8 - Irrigation Facilities						√																																			√		
8.9 - Reserved	√																																										
8.10 - None	√																																										
8.11 - Air Quality Standards						√																																					
8.12 - Water Quality Management Standards						√		√															√		√																√		
8.13 - Commercial Mineral Deposits	√																																										

TABLE 2.1
Evaluation Criteria Cross Reference Guide

Applicable Land Use Code Requirements	N/A	Section 2 - Project Description												Section 8 - Technical Reports												Appendix													
		1 - Application Form	2.a - General Description, Including Purpose and Need	2.b - Location and Total Area	2.c - Description of the Site Selection Process	2.d - Description of Other Alternatives	2.e - Consistency with Master Plans and Intergovernmental Agreements	2.f - Description of Recent and Present Uses of the Site	2.g - Description of the Site Inventory Maps	2.h - Description of Any Potential Negative Impacts of the Project to Public Health and Safety	2.i - Description of Existing and Proposed Utilities and Facilities	2.j - Projected Development Schedule	2.k - Description of Public Input Process	2.l - Additional Explanation	3 - Vicinity Maps	4 - Site Inventory Maps	5 - 1041 Permit Site Map(s)	6 - Reduced 1041 Site Permit Map(s)	7 - Legal Description	8.a - Wetland Mitigation Plan	8.b - Wildlife Conservation Plan	8.c - Natural Hazard Mitigation Plan	8.d - Traffic Impact Study	8.e - Drainage and Erosion Control Report and Plan	8.f - Floodplain Hydraulic/Hydrologic Modeling Report	8.g - Groundwater Modeling Report	8.h Non-Subdivision Water Inquiry	8.k - Noise Analysis	8.l - Air Quality Impact and Mitigation Report	9 - Adjacent Property Owners List	10 - Application Fee	11 - Signed Pre-Application Conference Form and Submittal Checklist	12 - Other	Appendix A - Alternative Analysis	Appendix B - Public Outreach Information	Appendix C - Natural and Cultural Resources Report	Appendix D - Best Management	Appendix E - Stakeholder Outreach	
8.14 - Development Design for Land Division	√																																						
8.15 - Lighting			√			√			√																														
8.16 - Fences			√						√																														
8.17 - Hazardous Waste Treatment and Disposal	√																																						
8.18 - Large Retail Development	√																																						
Section 12.0 Common Procedures for Development Review																																							
12.1 Application Materials Requirements																																							
12.1.A Application Form		√																																					
12.1.B Project Description/Consistency with Master Plan			√			√																																	
12.1.C Application Fee																													√										
12.1.D Property Taxes	√																																						
Section 14.0 - Areas and Activities of State Interest																																							
14.10.D Review criteria for approval of all 1041 permits:																																							
14.10.D.1 - The proposal is consistent with the master plan and applicable intergovernmental agreements affecting land use and development						√																																	

TABLE 2.1
Evaluation Criteria Cross Reference Guide

Applicable Land Use Code Requirements	N/A	Section 2 - Project Description											Section 8 - Technical Reports											Appendix															
		1 - Application Form	2.a - General Description, Including Purpose and Need	2.b - Location and Total Area	2.c - Description of the Site Selection Process	2.d - Description of Other Alternatives	2.e - Consistency with Master Plans and Intergovernmental Agreements	2.f - Description of Recent and Present Uses of the Site	2.g - Description of the Site Inventory Maps	2.h - Description of Any Potential Negative Impacts of the Project to Public Health and Safety	2.i - Description of Existing and Proposed Utilities and Facilities	2.j - Projected Development Schedule	2.k - Description of Public Input Process	2.l - Additional Explanation	3 - Vicinity Maps	4 - Site Inventory Maps	5 - 1041 Permit Site Map(s)	6 - Reduced 1041 Site Permit Map(s)	7 - Legal Description	8.a - Wetland Mitigation Plan	8.b - Wildlife Conservation Plan	8.c - Natural Hazard Mitigation Plan	8.d - Traffic Impact Study	8.e - Drainage and Erosion Control Report and Plan	8.f - Floodplain Hydraulic/Hydrologic Modeling Report	8.g - Groundwater Modeling Report	8.h Non-Subdivision Water Inquiry	8.k - Noise Analysis	8.l - Air Quality Impact and Mitigation Report	9 - Adjacent Property Owners List	10 - Application Fee	11 - Signed Pre-Application Conference Form and Submittal Checklist	12 - Other	Appendix A - Alternative Analysis	Appendix B - Public Outreach Information	Appendix C - Natural and Cultural Resources Report	Appendix D - Best Management	Appendix E - Stakeholder Outreach	
14.10.D.6 - The proposal will not negatively impact public health and safety.						√		√												√	√	√	√			√	√												
14.10.D.7 - The proposal will not be subject to significant risk from natural hazards including floods, wildfire or geologic hazards.						√														√			√																
14.10.D.8 - Adequate public facilities and services are available for the proposal or will be provided by the applicant, and the proposal will not have a significant adverse effect on the capability of local government to provide services or exceed the capacity of service delivery systems.						√				√										√	√				√														
14.10.D.9 - The applicant will mitigate any construction impacts to county roads, bridges and related facilities. Construction access will be re-graded and re-vegetated to minimize environmental impacts.						√														√																			

TABLE 2.1
Evaluation Criteria Cross Reference Guide

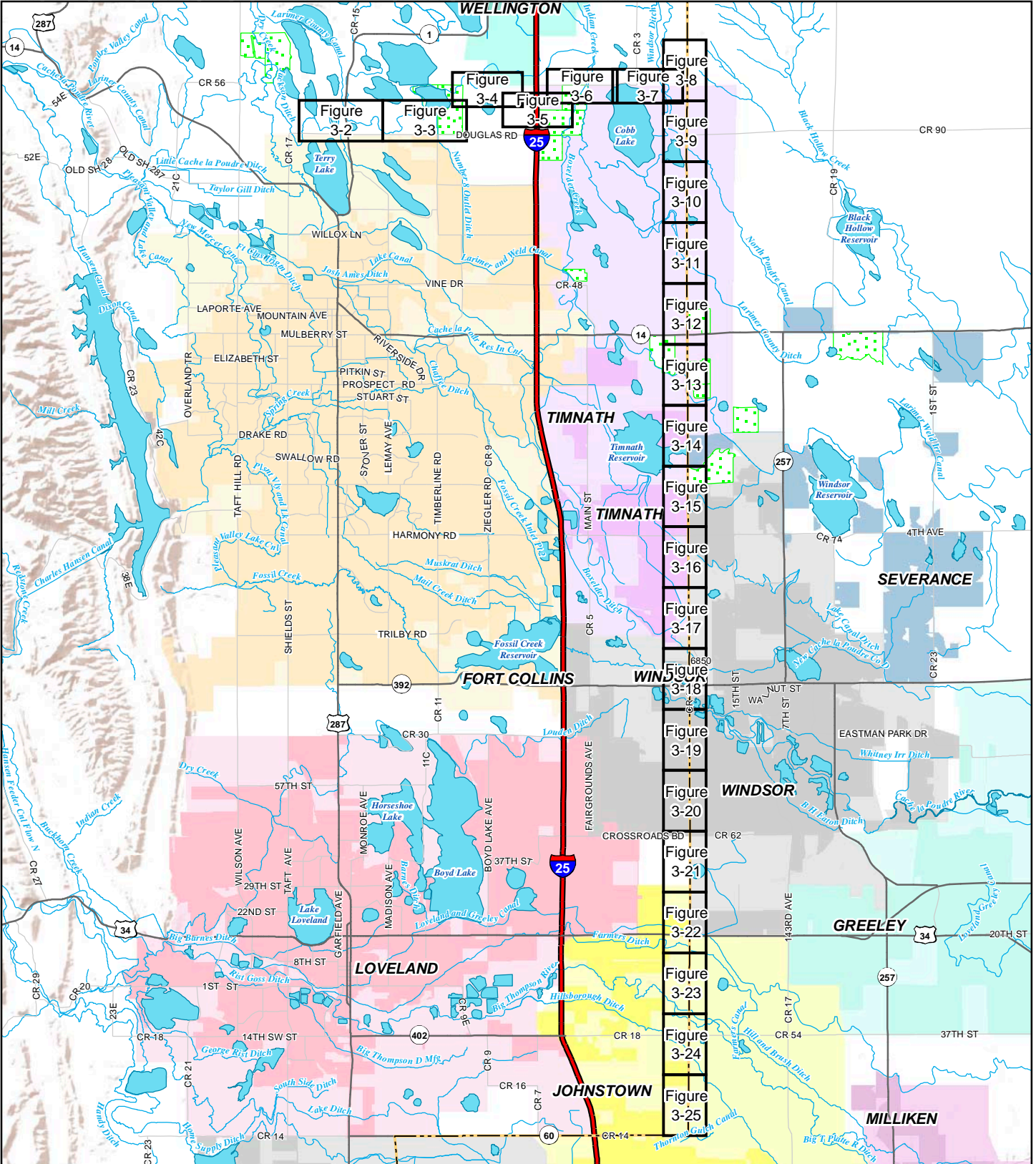
Applicable Land Use Code Requirements	N/A	Section 2 - Project Description												Section 8 - Technical Reports											Appendix														
		1 - Application Form	2.a - General Description, Including Purpose and Need	2.b - Location and Total Area	2.c - Description of the Site Selection Process	2.d - Description of Other Alternatives	2.e - Consistency with Master Plans and Intergovernmental Agreements	2.f - Description of Recent and Present Uses of the Site	2.g - Description of the Site Inventory Maps	2.h - Description of Any Potential Negative Impacts of the Project to Public Health and Safety	2.i - Description of Existing and Proposed Utilities and Facilities	2.j - Projected Development Schedule	2.k - Description of Public Input Process	2.l - Additional Explanation	3 - Vicinity Maps	4 - Site Inventory Maps	5 - 1041 Permit Site Map(s)	6 - Reduced 1041 Site Permit Map(s)	7 - Legal Description	8.a - Wetland Mitigation Plan	8.b - Wildlife Conservation Plan	8.c - Natural Hazard Mitigation Plan	8.d - Traffic Impact Study	8.e - Drainage and Erosion Control Report and Plan	8.f - Floodplain Hydraulic/Hydrologic Modeling Report	8.g - Groundwater Modeling Report	8.h Non-Subdivision Water Inquiry	8.k - Noise Analysis	8.l - Air Quality Impact and Mitigation Report	9 - Adjacent Property Owners List	10 - Application Fee	11 - Signed Pre-Application Conference Form and Submittal Checklist	12 - Other	Appendix A - Alternative Analysis	Appendix B - Public Outreach Information	Appendix C - Natural and Cultural Resources Report	Appendix D - Best Management	Appendix E - Stakeholder Outreach	
14.10.D.10 - The benefits of the proposed development outweigh the losses of any natural resources or reduction of productivity of agricultural lands as a result of the proposed development.						√	√											√	√																				
14.10.D.11 - The proposal demonstrates a reasonable balance between the costs to the applicant to mitigate significant adverse affects and the benefits achieved by such mitigation.						√		√										√	√	√	√	√	√	√	√	√	√	√								√	√		
14.10.D.12 - The recommendations of staff and referral agencies have been addressed to the satisfaction of the county commissioners.	√																																						

Section 3 Vicinity Maps

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 3.

The vicinity maps for the TWP are shown in **Figures 3-1** through **3-25**. In accordance with permit requirements, the vicinity maps include the following:

- The 500-foot to ¼-mile wide TWP corridor limits within unincorporated Larimer County.
- Property parcels. Parcel information within the TWP corridor is presented in **Table 3**. Parcel information is provided for parcels within both unincorporated and incorporated Larimer County.
- Locations of all residences and business as shown on the aerial photo.
- Abutting subdivision outlines and names.
- Boundaries of adjacent municipalities and Growth Management Areas.
- Roads.
- Significant natural features.



- Figure 3-1
- Figure 3-2
- Figure 3-3
- Figure 3-4
- Figure 3-5
- Figure 3-6
- Figure 3-7
- Figure 3-8
- Figure 3-9
- Figure 3-10
- Figure 3-11
- Figure 3-12
- Figure 3-13
- Figure 3-14
- Figure 3-15
- Figure 3-16
- Figure 3-17
- Figure 3-18
- Figure 3-19
- Figure 3-20
- Figure 3-21
- Figure 3-22
- Figure 3-23
- Figure 3-24
- Figure 3-25



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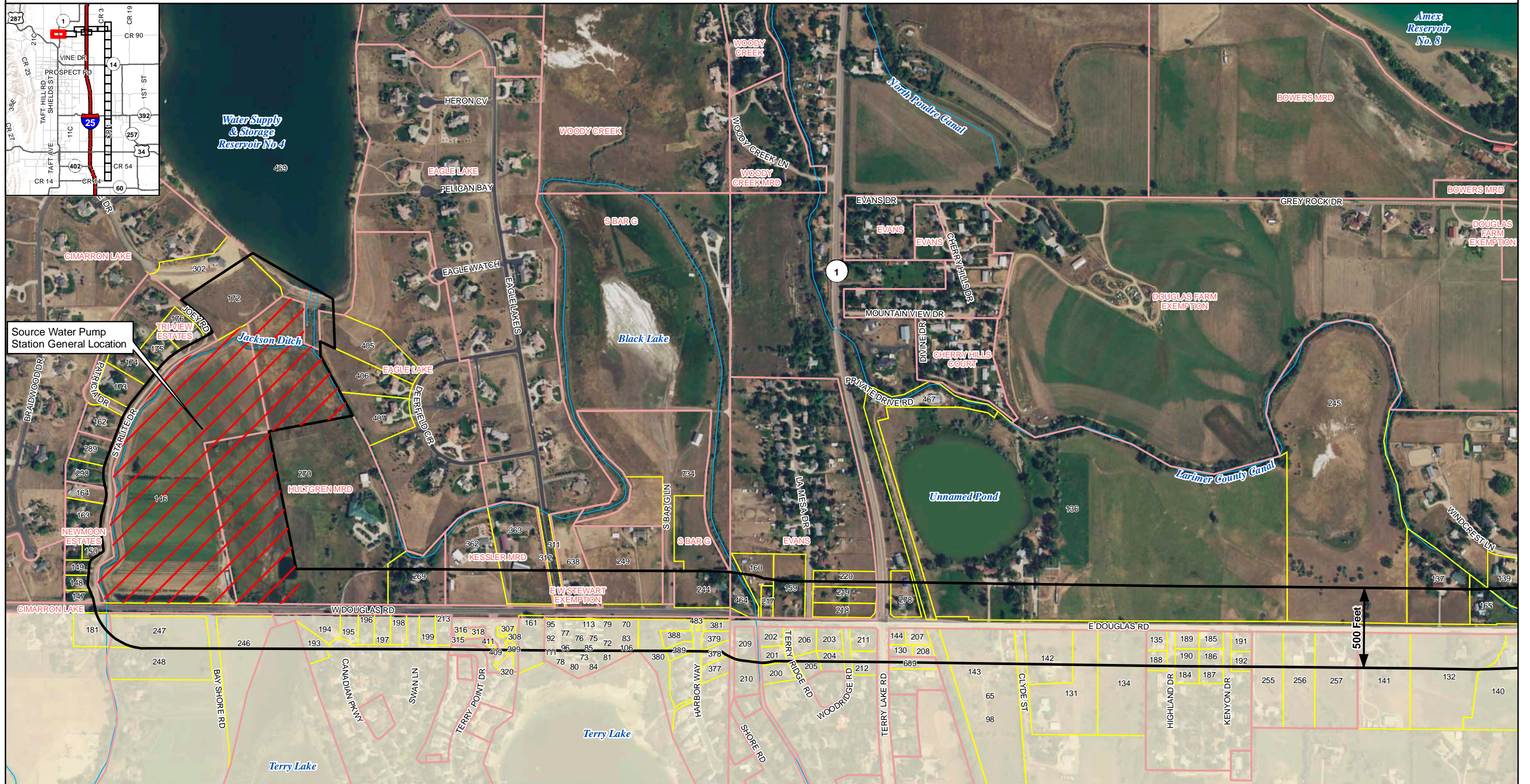
1 inch = 14,500 feet
 0 7,250 14,500
 Feet


- Map Index Panel
- Thornton Farm
- County Boundary
- Lake/Reservoir
- River/Stream/Canal/Ditch

- Boundaries Crossed by the Proposed Corridor**
- | | |
|--------------|--------------|
| Fort Collins | GMA Boundary |
| Johnstown | Fort Collins |
| Loveland | Johnstown |
| Timnath | Loveland |
| Wellington | Timnath |
| Windsor | Wellington |
| | Windsor |

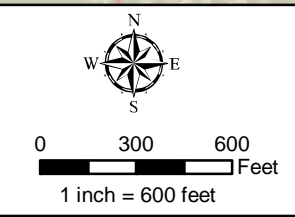
Figure 3-1
Vicinity Map Index

Thornton Water Project





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0 300 600 Feet
1 inch = 600 feet

- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Parcel Boundary
- Subdivision
- Railroad
- River/Stream/Canal/Ditch
- * Source Water Pump Station
- General Location
- / Water Tank General Location
- ## Table 3 Parcel Map ID Number

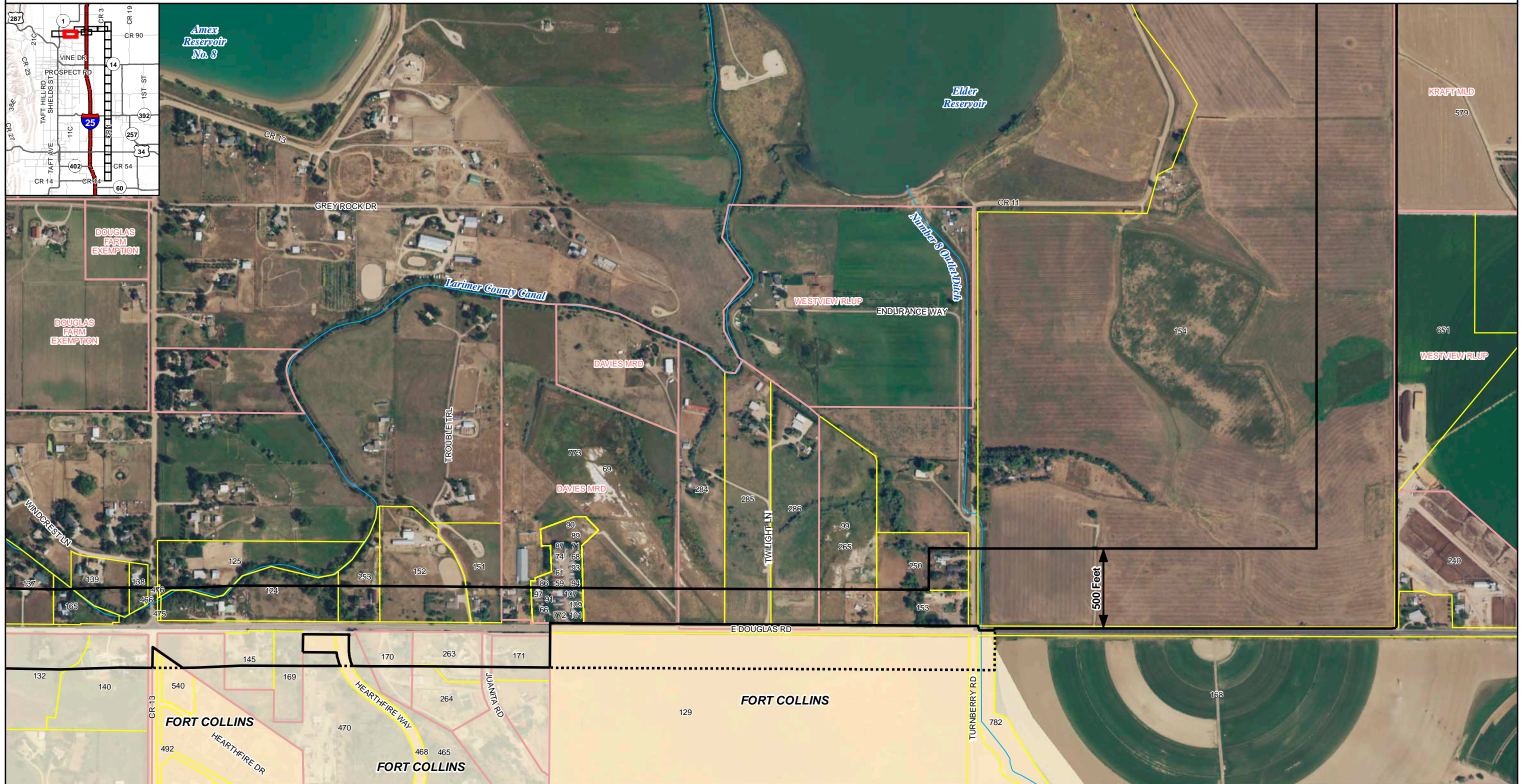
GMA Boundary
Fort Collins


**Figure 3-2
Vicinity Map**

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIP


Thornton Water Project





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0 300 600
Feet
1 inch = 600 feet

TWP Corridor in Unincorporated Larimer County (Yellow outline)

TWP Corridor outside Unincorporated Larimer County (Dashed black outline)

County Boundary (Thick black line)

Parcel Boundary (Thin yellow line)

Subdivision (Pink outline)

Railroad (Black line with cross-ticks)

River/Stream/Canal/Ditch (Blue line)

***Source Water Pump Station** (Red star)

General Location (Red dot)

Water Tank General Location (Blue star)

Table 3 Parcel Map ID Number

GMA Boundary

Fort Collins (Yellow background)

Corporate Boundary

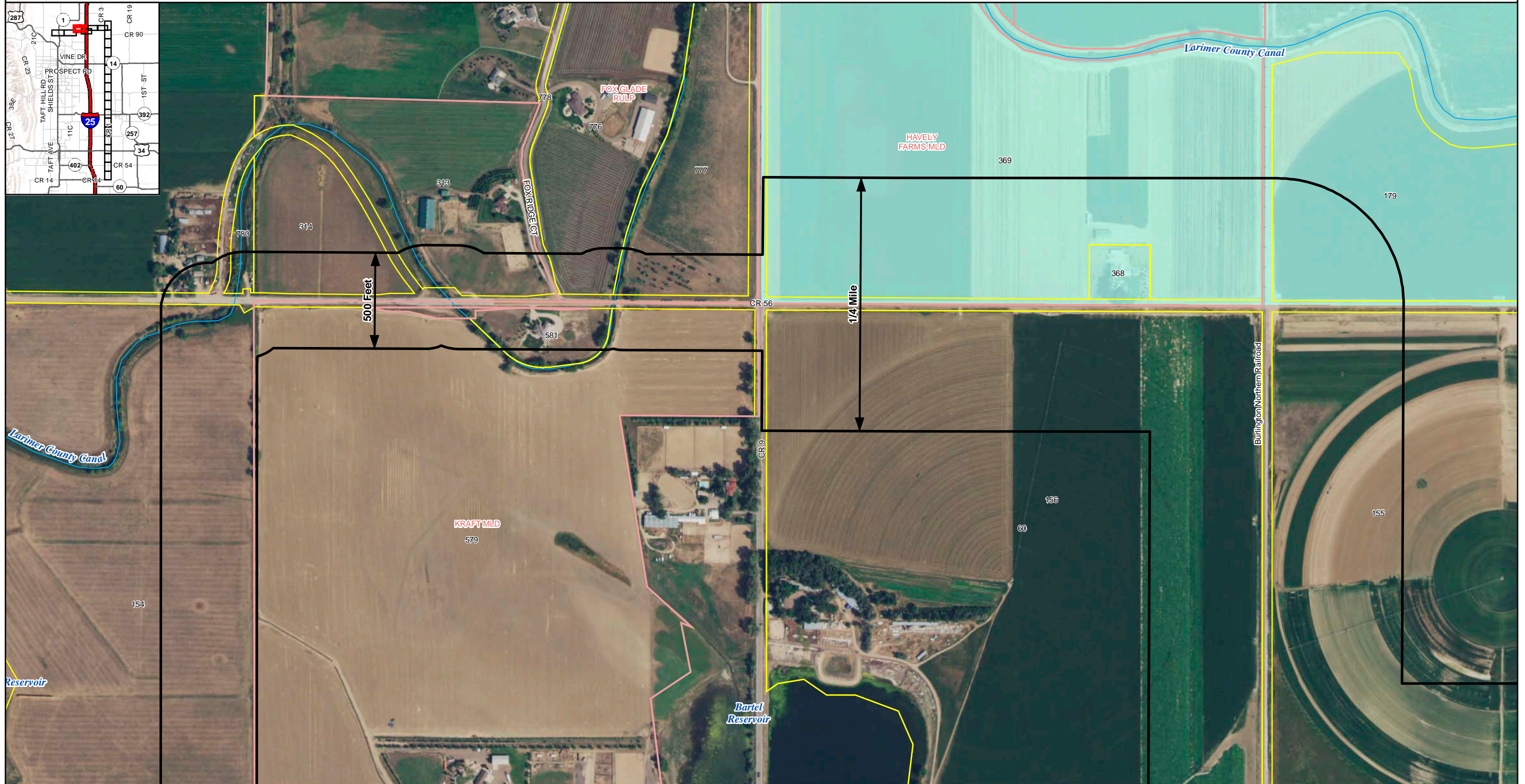
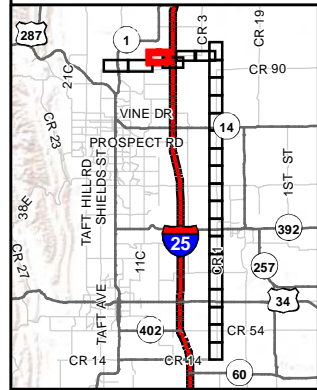
Fort Collins (Orange background)

**Figure 3-3
Vicinity Map**

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIP

Thornton Water Project



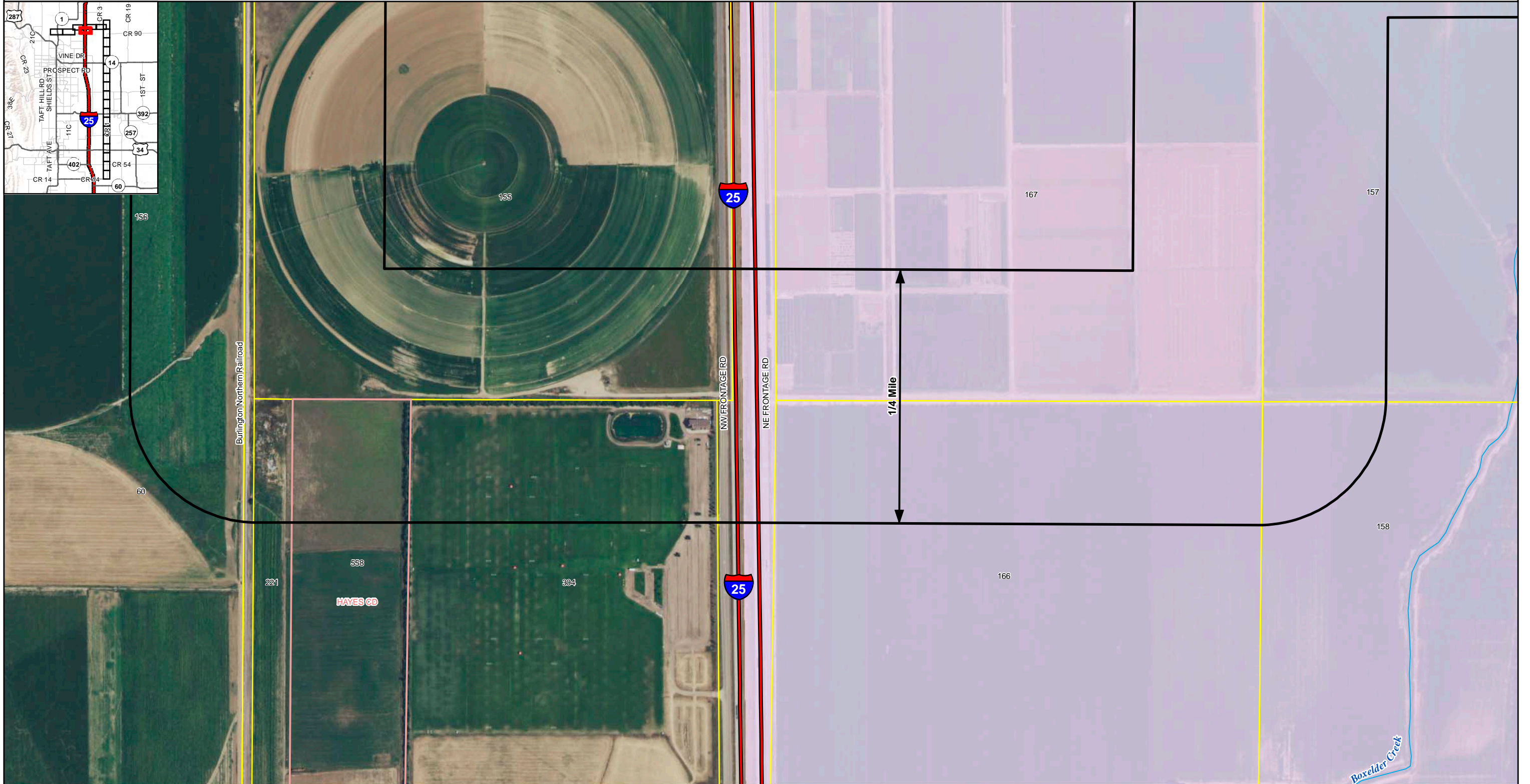
<p>CITY OF THORNTON COLORADO 12450 WASHINGTON ST THORNTON, CO 80241-2405 1/2/2018</p>	<p>0 250 500 Feet 1 inch = 500 feet</p>	TWP Corridor in Unincorporated Larimer County	Subdivision	GMA Boundary Wellington
		TWP Corridor outside Unincorporated Larimer County	Railroad	Wellington
		County Boundary	River/Stream/Canal/Ditch	*Source Water Pump Station
		Parcel Boundary	General Location	Water Tank General Location
			# Table 3 Parcel Map ID Number	

Figure 3-4
Vicinity Map

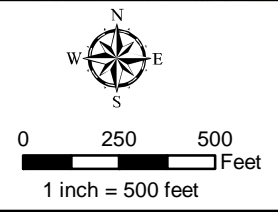
* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIP

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- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Parcel Boundary
- Subdivision
- Railroad
- River/Stream/Canal/Ditch
- * Source Water Pump Station
- General Location
- / Water Tank General Location
- ## Table 3 Parcel Map ID Number

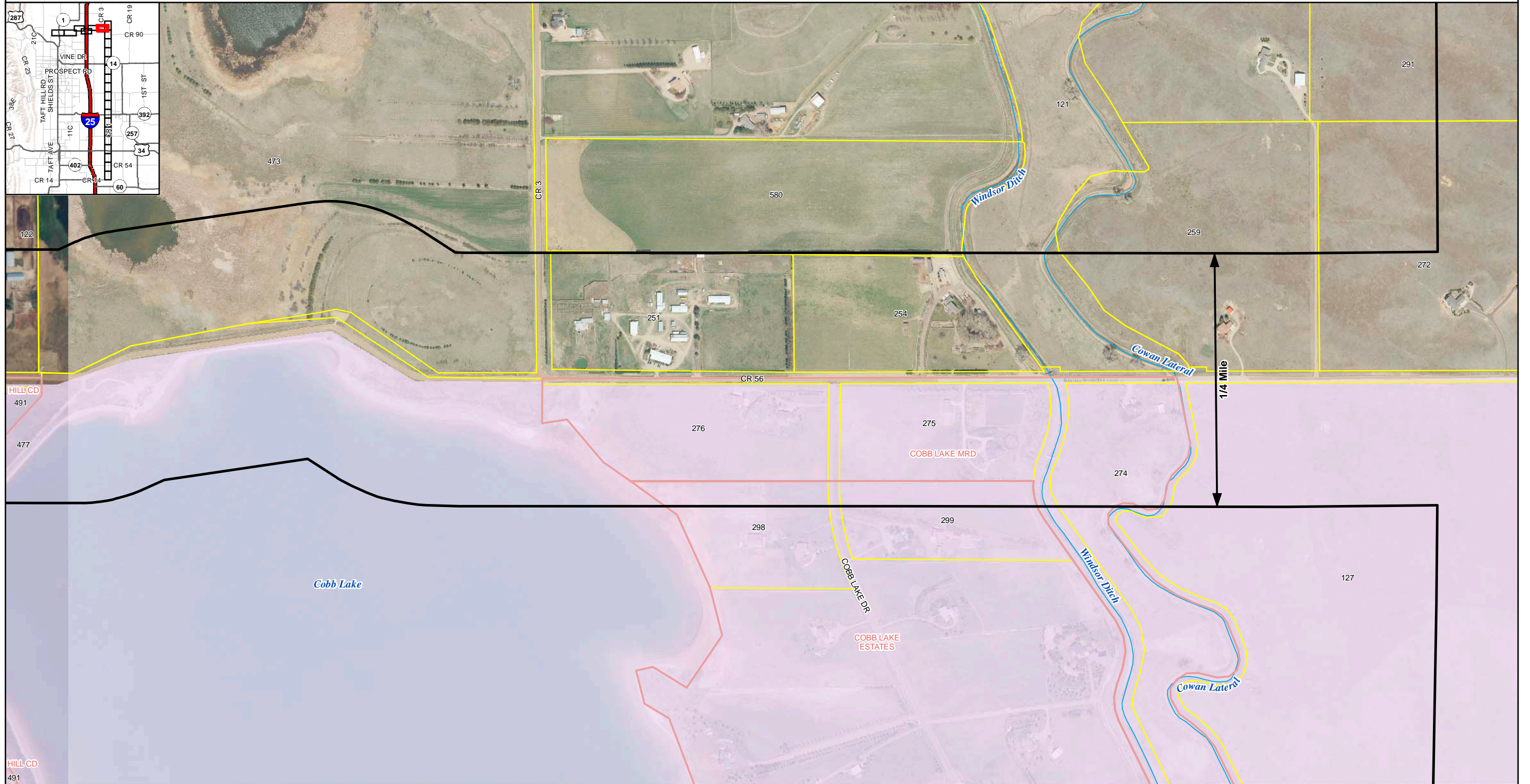
GMA Boundary
Timnath

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIP

Figure 3-5
Vicinity Map

Thornton Water Project



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0 250 500 Feet
1 inch = 500 feet

- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Parcel Boundary

- Subdivision
- Railroad
- River/Stream/Canal/Ditch
- * Source Water Pump Station
- ♦ General Location
- / Water Tank General Location
- ## Table 3 Parcel Map ID Number

GMA Boundary

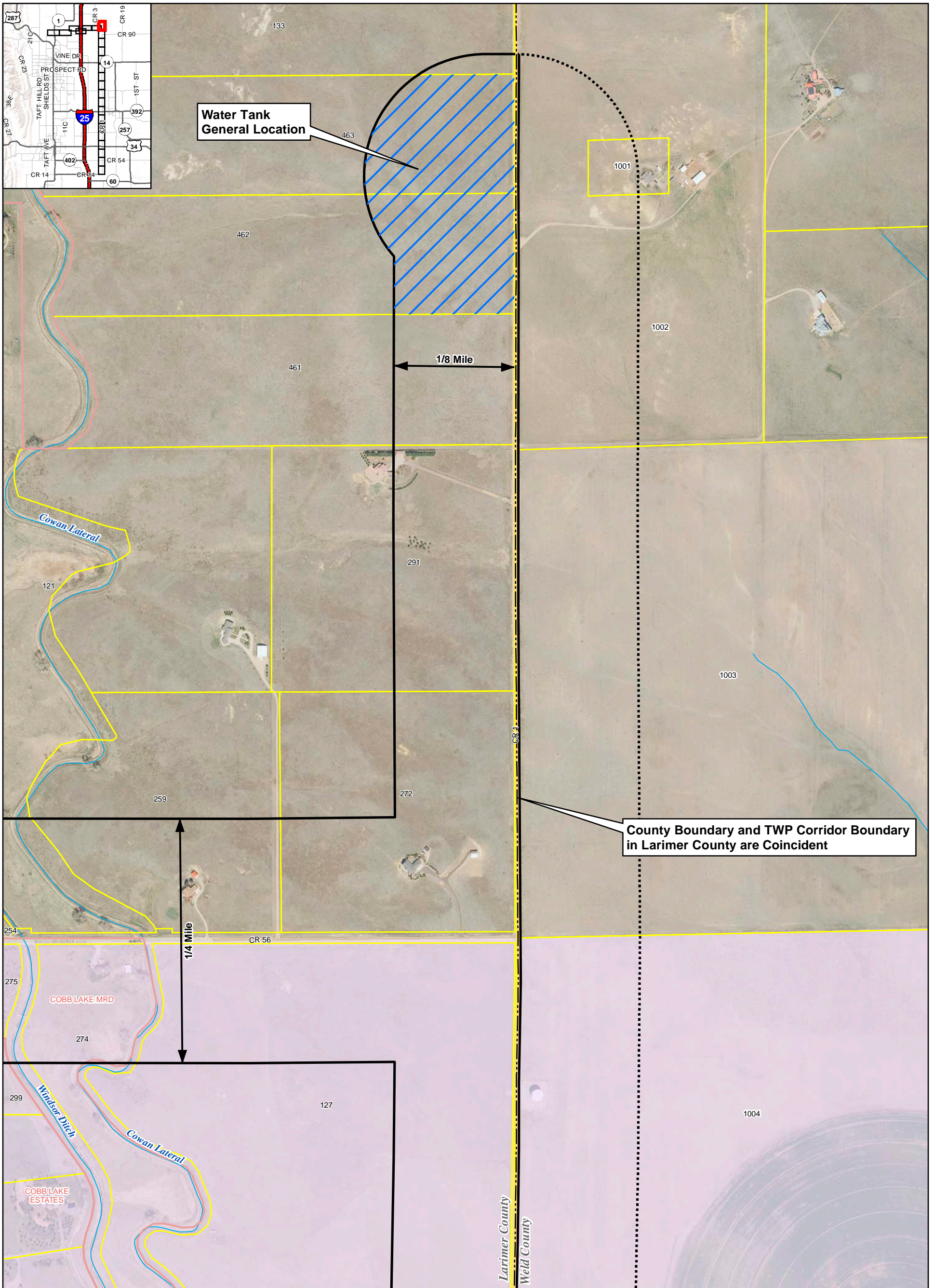
- Timnath

**Figure 3-7
Vicinity Map**


* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIP

Thornton Water Project




County Boundary and TWP Corridor Boundary in Larimer County are Coincident



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0 250 500
Feet

1 inch = 500 feet

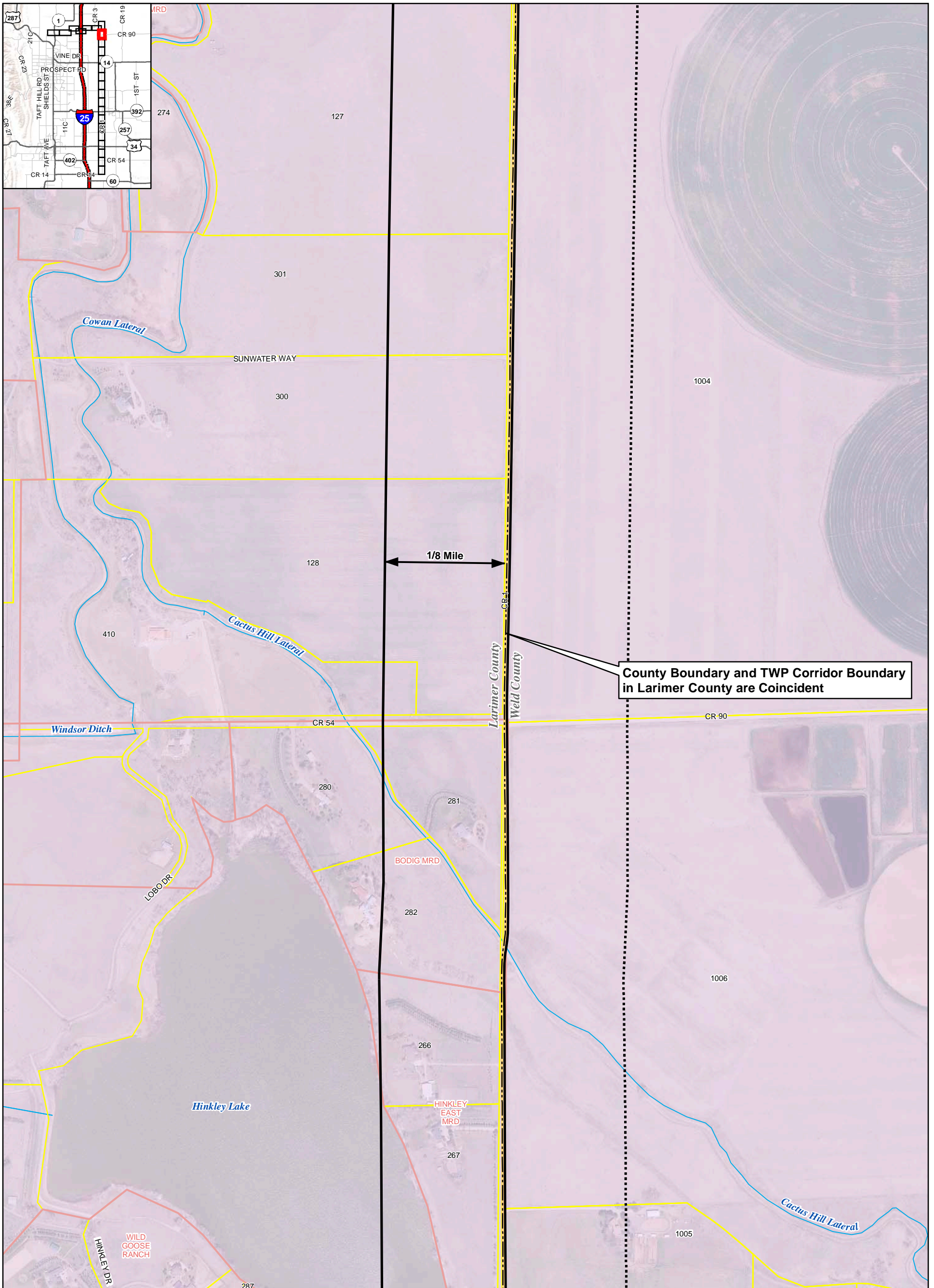
	TWP Corridor in Unincorporated Larimer County		*Source Water Pump Station General Location
	TWP Corridor outside Unincorporated Larimer County		## Table 3 Parcel ID Number
	County Boundary		GMA Boundary
	Parcel Boundary		Timnath
	Subdivision		
	Railroad		
	River/Stream/Canal/Ditch		
	Water Tank General Location		

**Figure 3-8
Vicinity Map**


* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIP

Thornton Water Project




County Boundary and TWP Corridor Boundary in Larimer County are Coincident



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0 250 500
Feet

1 inch = 500 feet

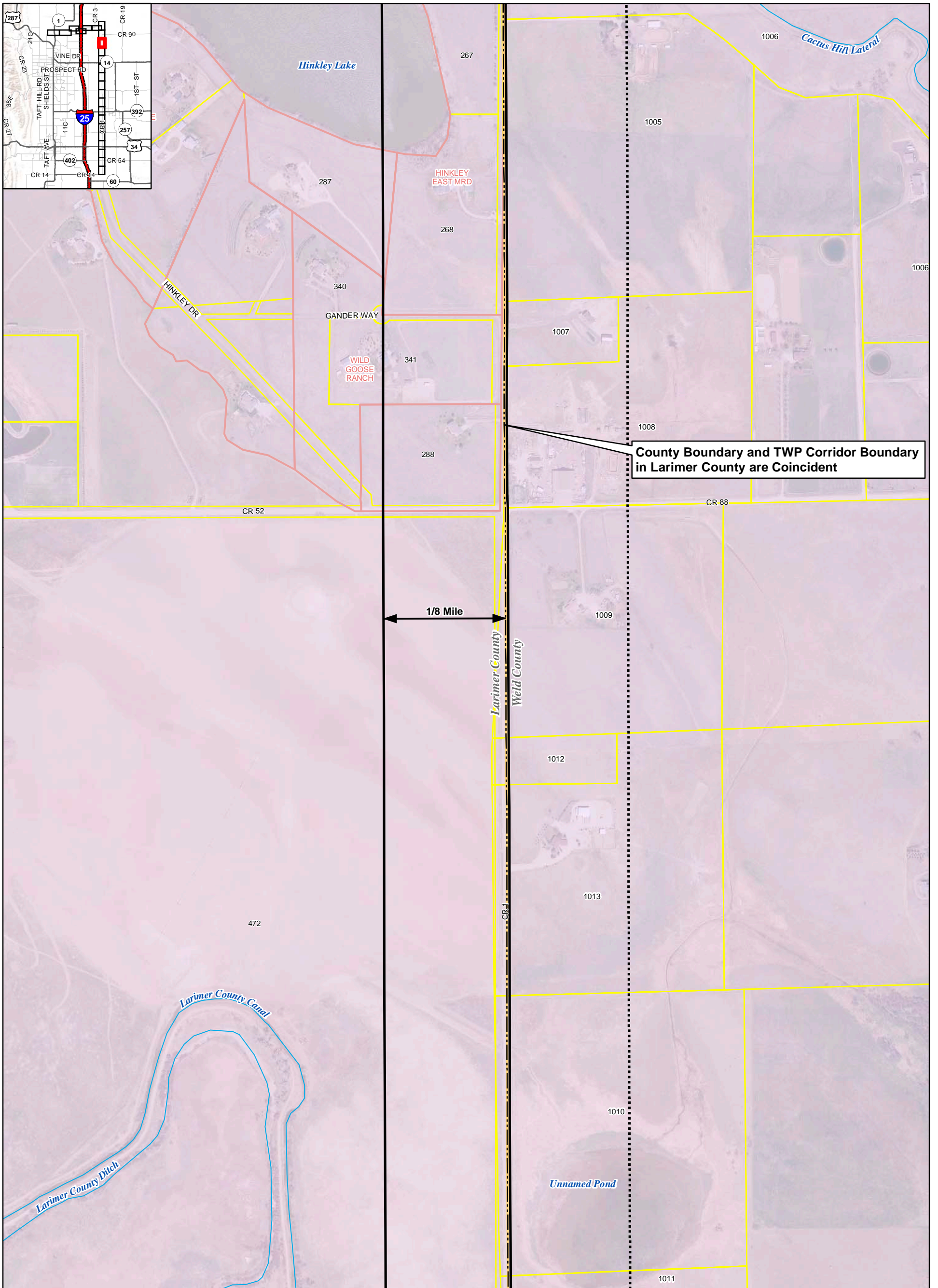
	TWP Corridor in Unincorporated Larimer County		*Source Water Pump Station General Location
	TWP Corridor outside Unincorporated Larimer County		## Table 3 Parcel ID Number
	County Boundary		GMA Boundary
	Parcel Boundary		Timnath
	Subdivision		
	Railroad		
	River/Stream/Canal/Ditch		
	Water Tank General Location		

**Figure 3-9
Vicinity Map**

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIIP

Thornton Water Project



County Boundary and TWP Corridor Boundary in Larimer County are Coincident

1/8 Mile

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0 250 500
Feet
1 inch = 500 feet

- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Parcel Boundary
- Subdivision
- Railroad
- River/Stream/Canal/Ditch
- Water Tank General Location

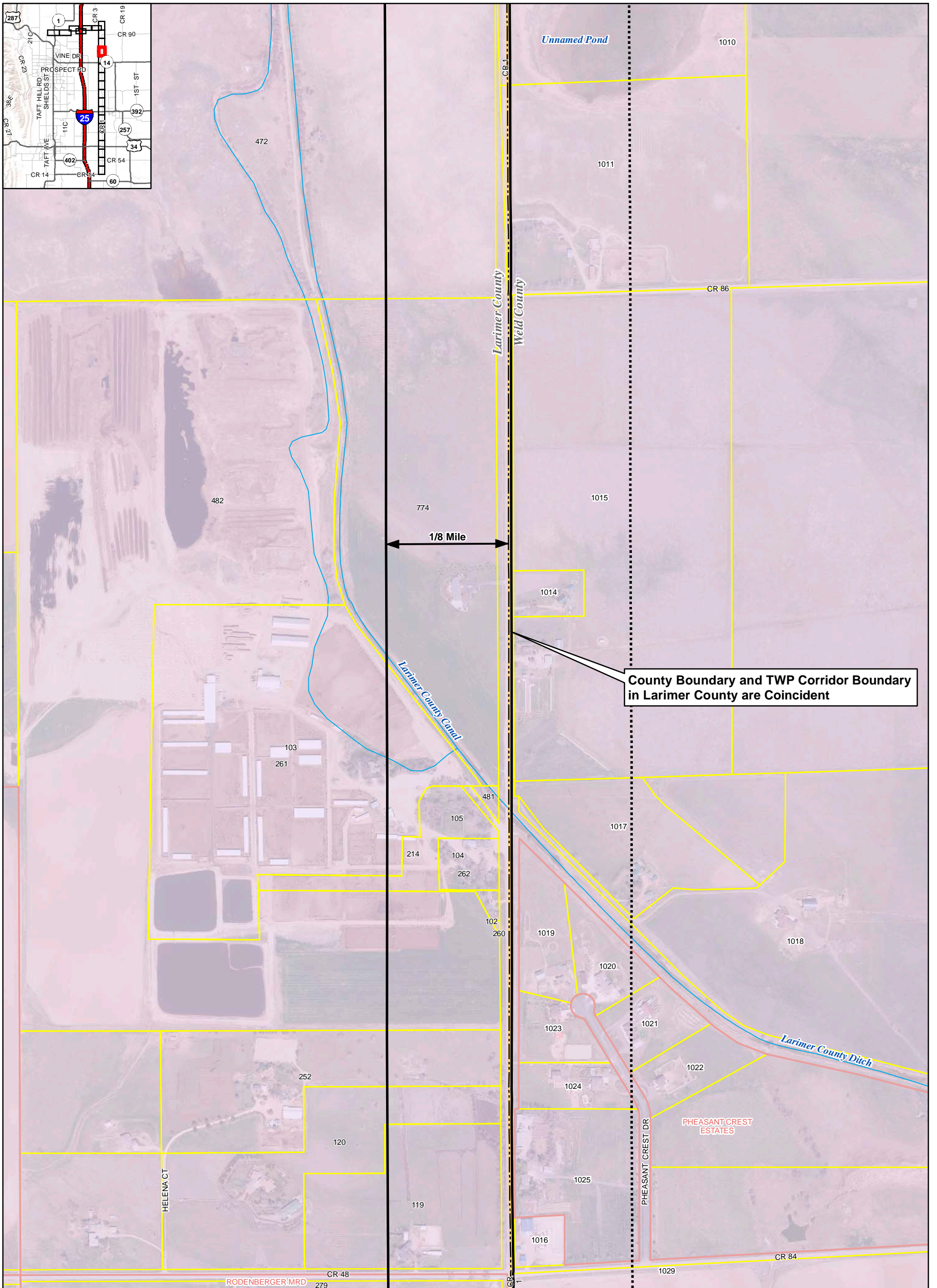
- * Source Water Pump Station General Location
- # Table 3 Parcel ID Number
- GMA Boundary**
- Timnath

**Figure 3-10
Vicinity Map**


* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIP

Thornton Water Project




County Boundary and TWP Corridor Boundary in Larimer County are Coincident



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0 250 500
Feet

1 inch = 500 feet

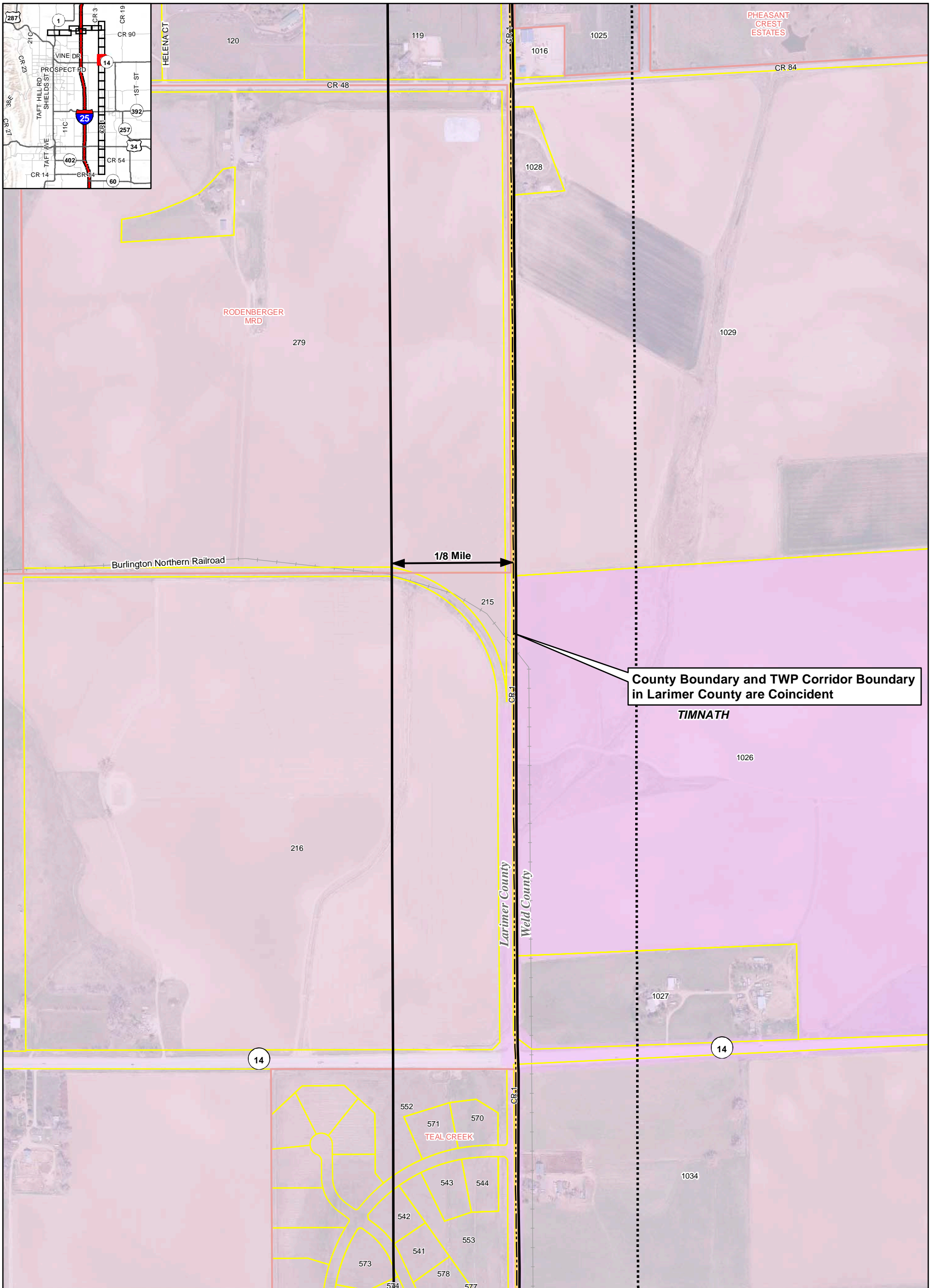
	TWP Corridor in Unincorporated Larimer County		*Source Water Pump Station General Location
	TWP Corridor outside Unincorporated Larimer County		## Table 3 Parcel ID Number
	County Boundary		GMA Boundary
	Parcel Boundary		Timnath
	Subdivision		
	Railroad		
	River/Stream/Canal/Ditch		
	Water Tank General Location		

**Figure 3-11
Vicinity Map**

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIP

Thornton Water Project



County Boundary and TWP Corridor Boundary in Larimer County are Coincident

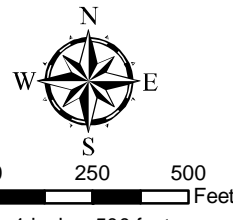
TIMNATH



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- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Parcel Boundary
- Subdivision
- Railroad
- River/Stream/Canal/Ditch
- Water Tank General Location

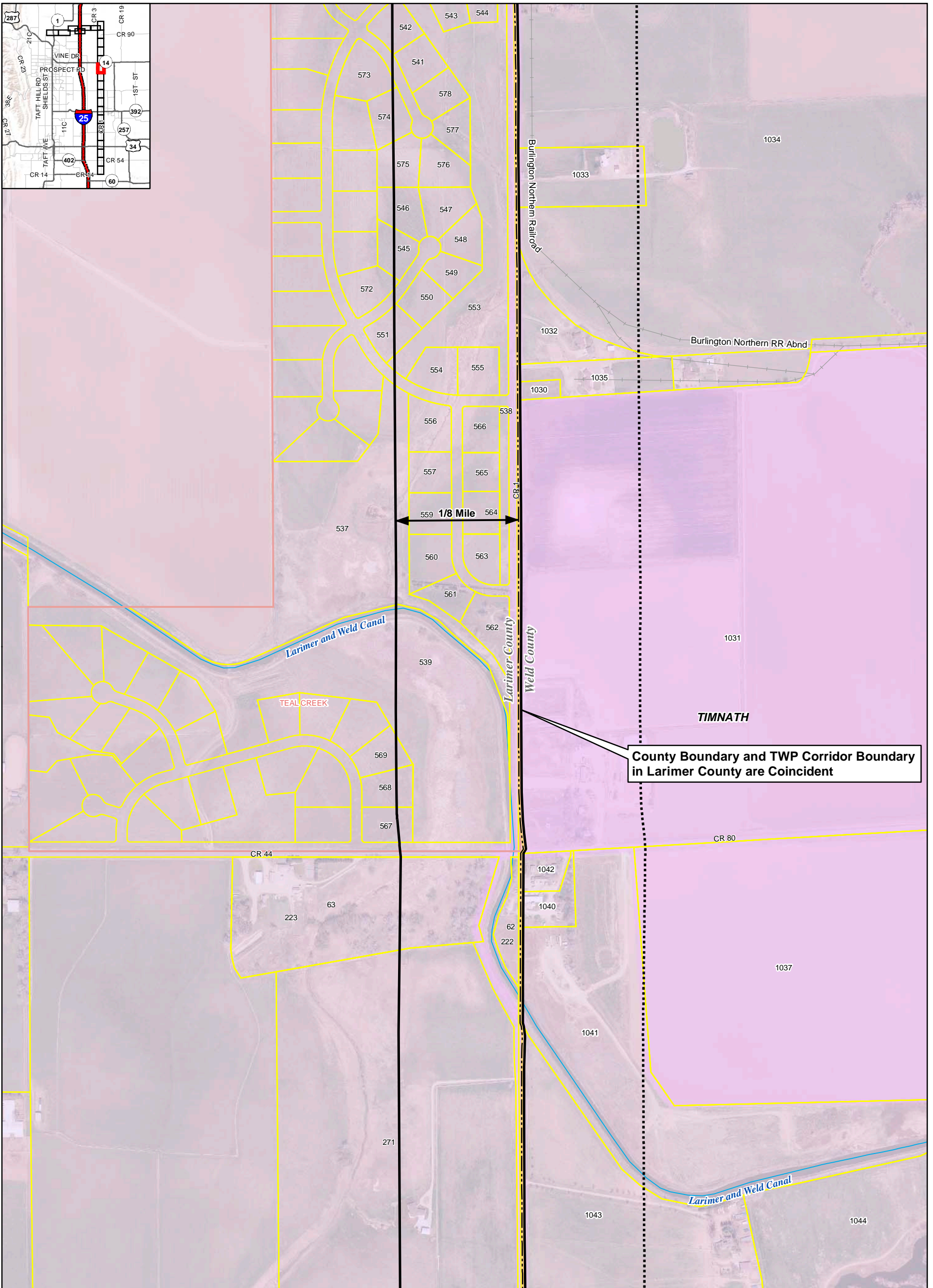
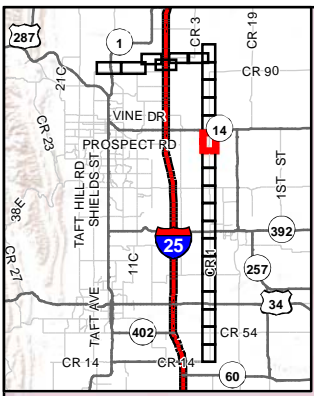
- *Source Water Pump Station General Location
- # Table 3 Parcel ID Number
- Corporate Boundary**
- Timnath
- GMA Boundary**
- Timnath


**Figure 3-12
Vicinity Map**

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIP

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0 250 500
Feet

1 inch = 500 feet

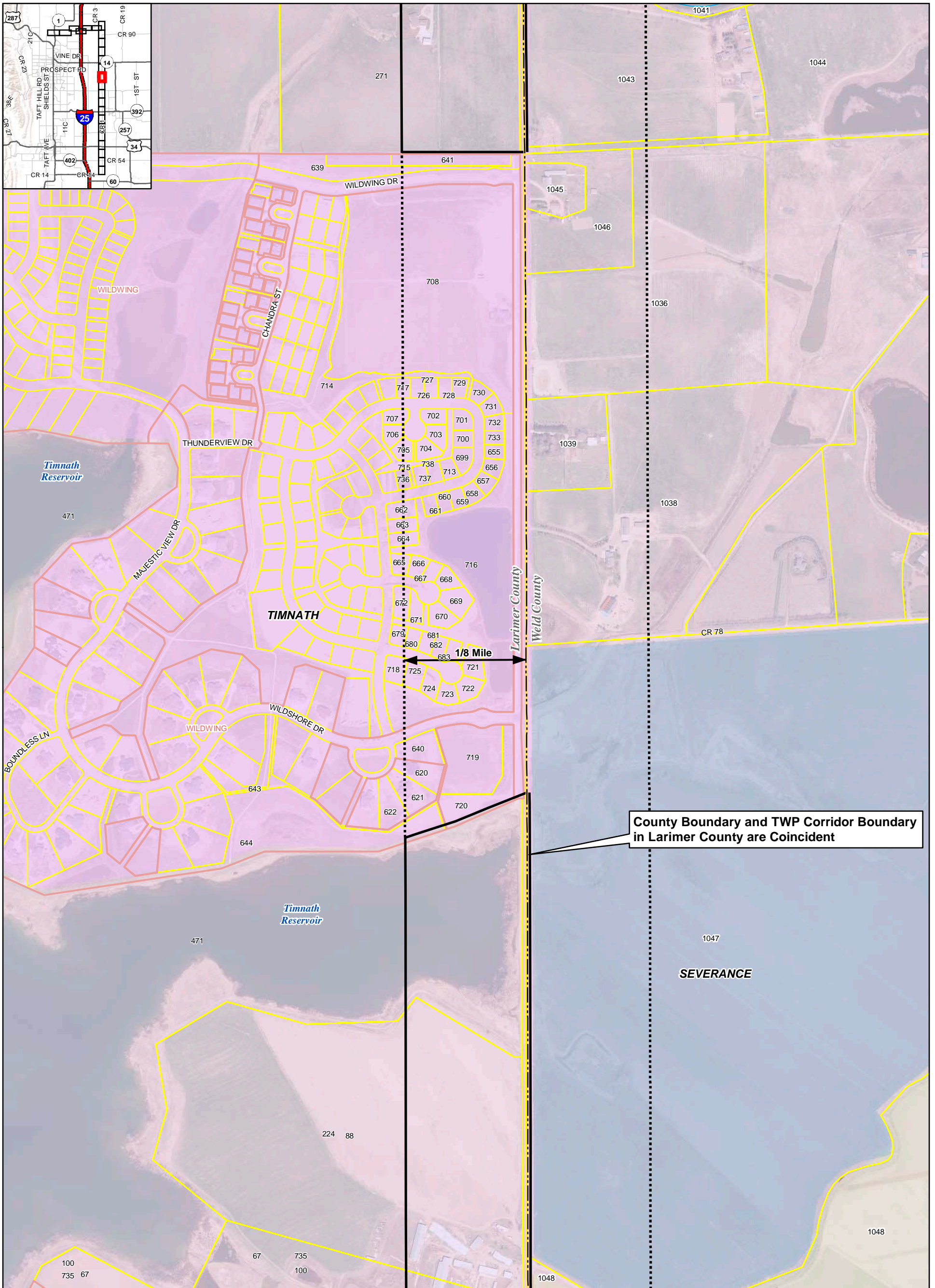
	TWP Corridor in Unincorporated Larimer County		*Source Water Pump Station General Location
	TWP Corridor outside Unincorporated Larimer County		## Table 3 Parcel ID Number
	County Boundary		Corporate Boundary
	Parcel Boundary		Timnath
	Subdivision		Timnath
	Railroad		
	River/Stream/Canal/Ditch		
	Water Tank General Location		

**Figure 3-13
Vicinity Map**


* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIIP

Thornton Water Project




County Boundary and TWP Corridor Boundary in Larimer County are Coincident



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0 250 500
Feet

1 inch = 500 feet

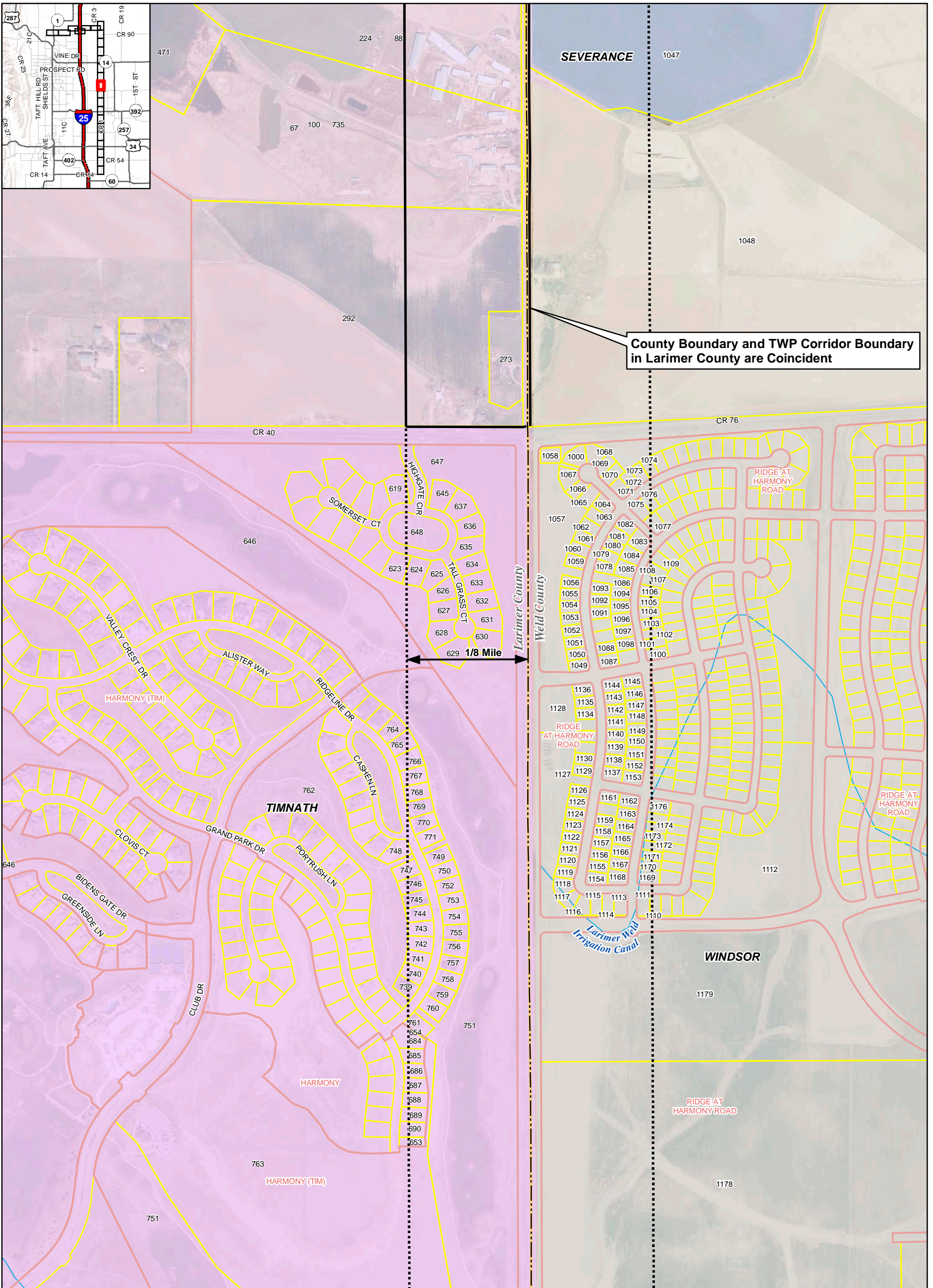
<ul style="list-style-type: none"> TWP Corridor in Unincorporated Larimer County TWP Corridor outside Unincorporated Larimer County County Boundary Parcel Boundary Subdivision Railroad River/Stream/Canal/Ditch Water Tank General Location 	<ul style="list-style-type: none"> * Source Water Pump Station General Location # Table 3 Parcel ID Number <p>Corporate Boundary</p> <ul style="list-style-type: none"> Severance Timnath <p>GMA Boundary</p> <ul style="list-style-type: none"> Timnath Windsor
--	--

Figure 3-14
Vicinity Map


* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIP

Thornton Water Project




County Boundary and TWP Corridor Boundary in Larimer County are Coincident



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0 250 500
Feet

1 inch = 500 feet

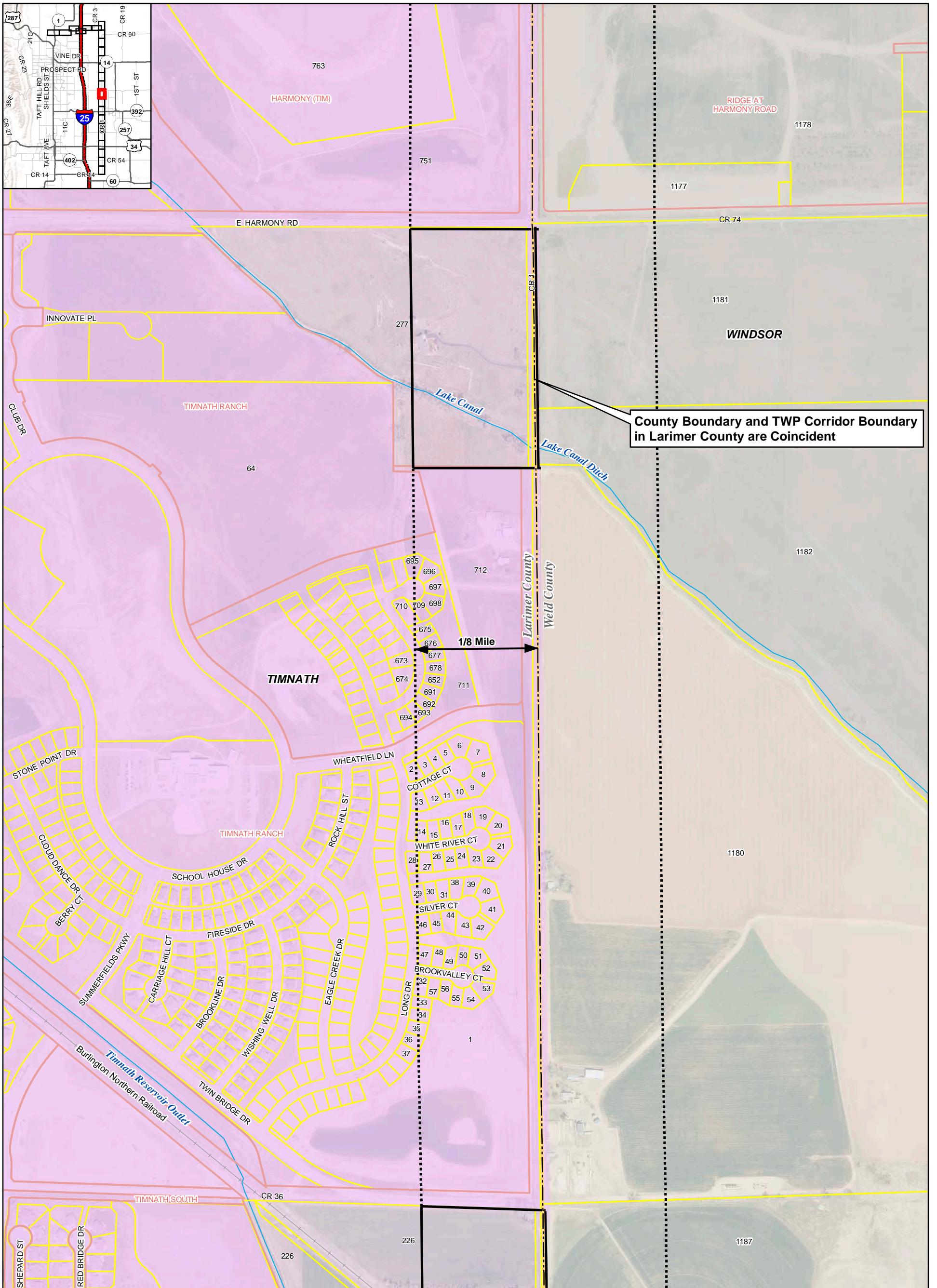
<ul style="list-style-type: none"> TWP Corridor in Unincorporated Larimer County TWP Corridor outside Unincorporated Larimer County County Boundary Parcel Boundary Subdivision Railroad River/Stream/Canal/Ditch Water Tank General Location 	<ul style="list-style-type: none"> * Source Water Pump Station General Location ## Table 3 Parcel ID Number Corporate Boundary Severance Timnath Windsor GMA Boundary Timnath Windsor
---	--

**Figure 3-15
Vicinity Map**


* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIP

Thornton Water Project




County Boundary and TWP Corridor Boundary in Larimer County are Coincident



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0 250 500
Feet

1 inch = 500 feet

- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Parcel Boundary
- Subdivision
- Railroad
- River/Stream/Canal/Ditch
- Water Tank General Location

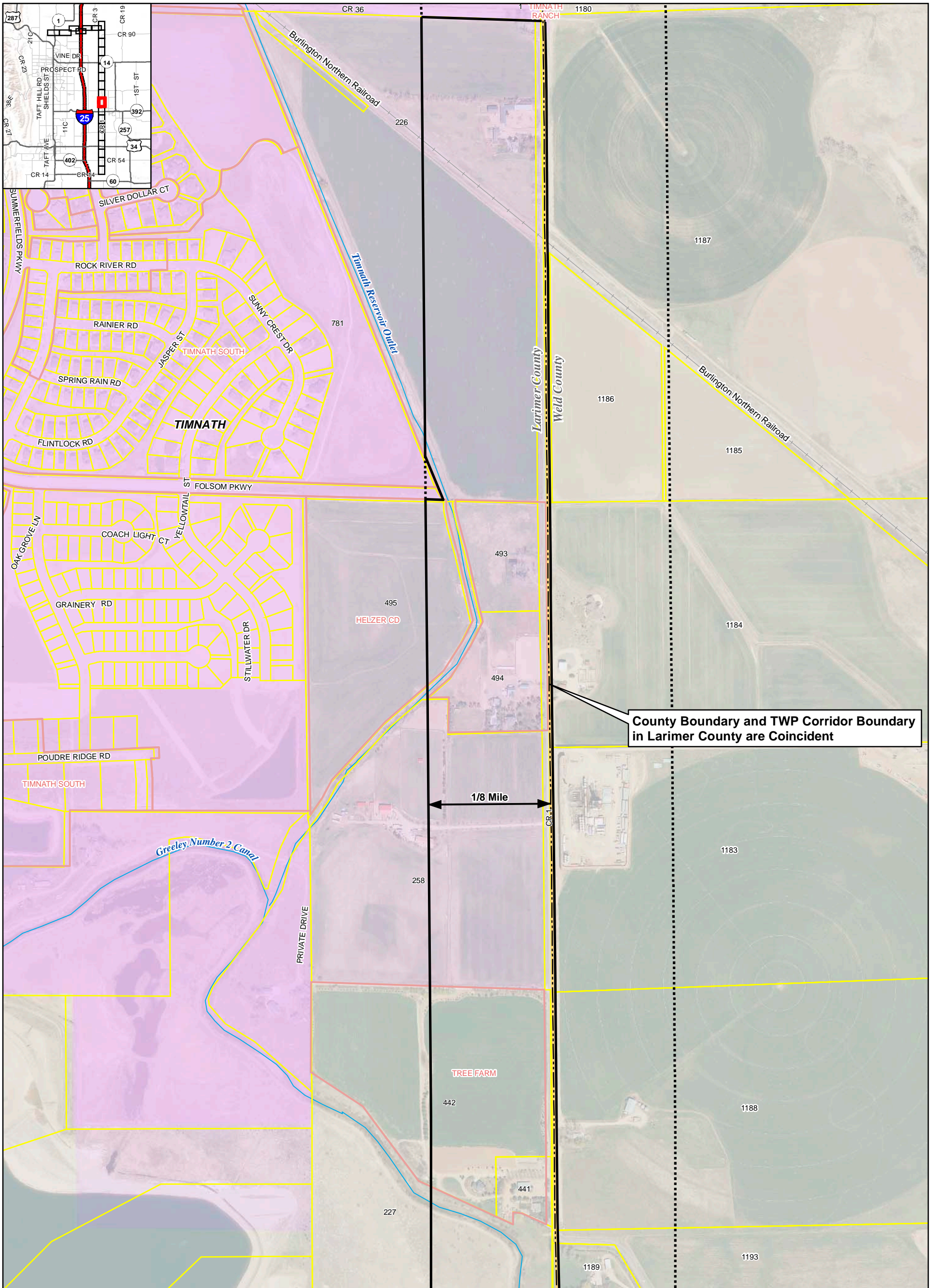
- * Source Water Pump Station General Location
- # Table 3 Parcel ID Number
- Corporate Boundary**
- Timnath
- Windsor
- GMA Boundary**
- Timnath
- Windsor

**Figure 3-16
Vicinity Map**

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIP

Thornton Water Project



County Boundary and TWP Corridor Boundary in Larimer County are Coincident

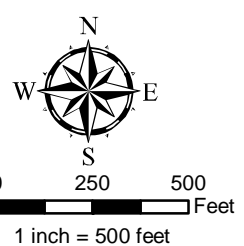
- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Parcel Boundary
- Subdivision
- Railroad
- River/Stream/Canal/Ditch
- Water Tank General Location
- *Source Water Pump Station General Location
- # Table 3 Parcel ID Number
- Corporate Boundary**
- Timnath
- GMA Boundary**
- Timnath
- Windsor

Figure 3-17
Vicinity Map



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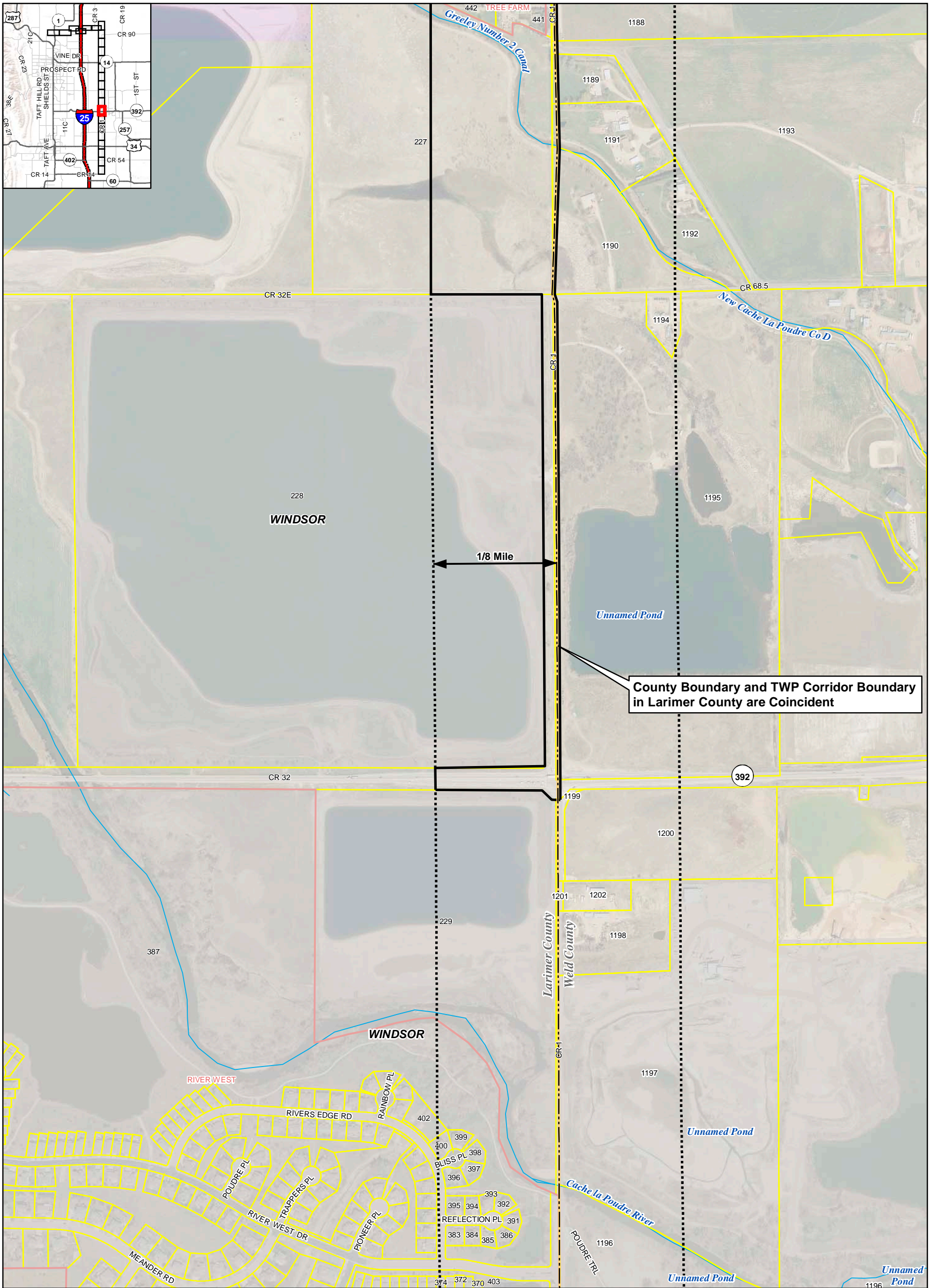


1/2/2018

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIIP

Thornton Water Project



County Boundary and TWP Corridor Boundary in Larimer County are Coincident

Thornton
WATER PROJECT

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0 250 500
Feet

1 inch = 500 feet

- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Parcel Boundary
- Subdivision
- Railroad
- River/Stream/Canal/Ditch
- Water Tank General Location

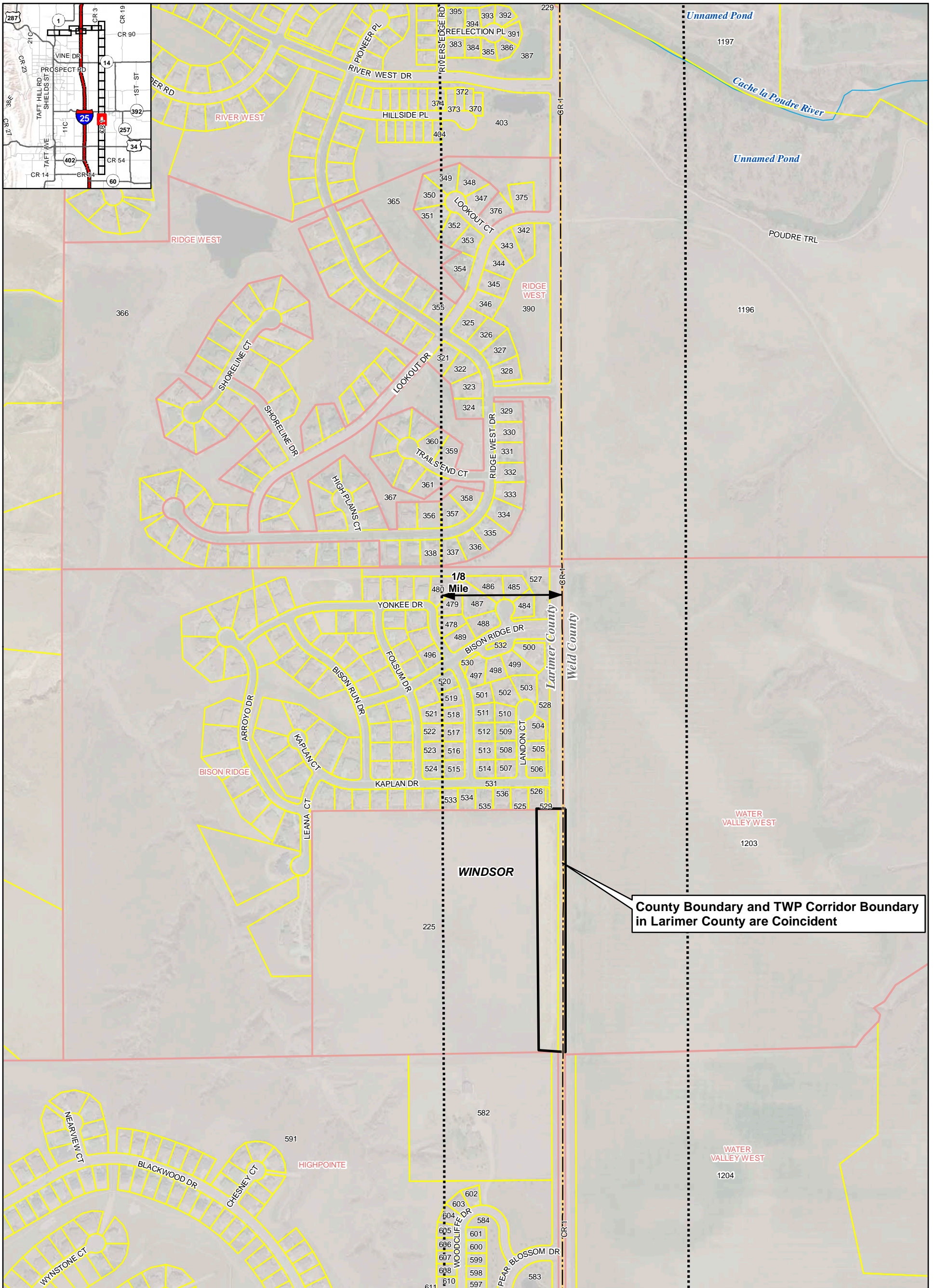
- * Source Water Pump Station General Location
- # Table 3 Parcel ID Number
- Corporate Boundary**
- Windsor
- GMA Boundary**
- Timnath
- Windsor


Figure 3-18
Vicinity Map

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

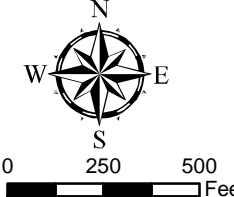
Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIP

Thornton Water Project





**CITY OF THORNTON
COLORADO**
12450 WASHINGTON ST
THORNTON, CO 80241-2405



0 250 500 Feet
1 inch = 500 feet

- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Parcel Boundary
- Subdivision
- Railroad
- River/Stream/Canal/Ditch
- Water Tank General Location

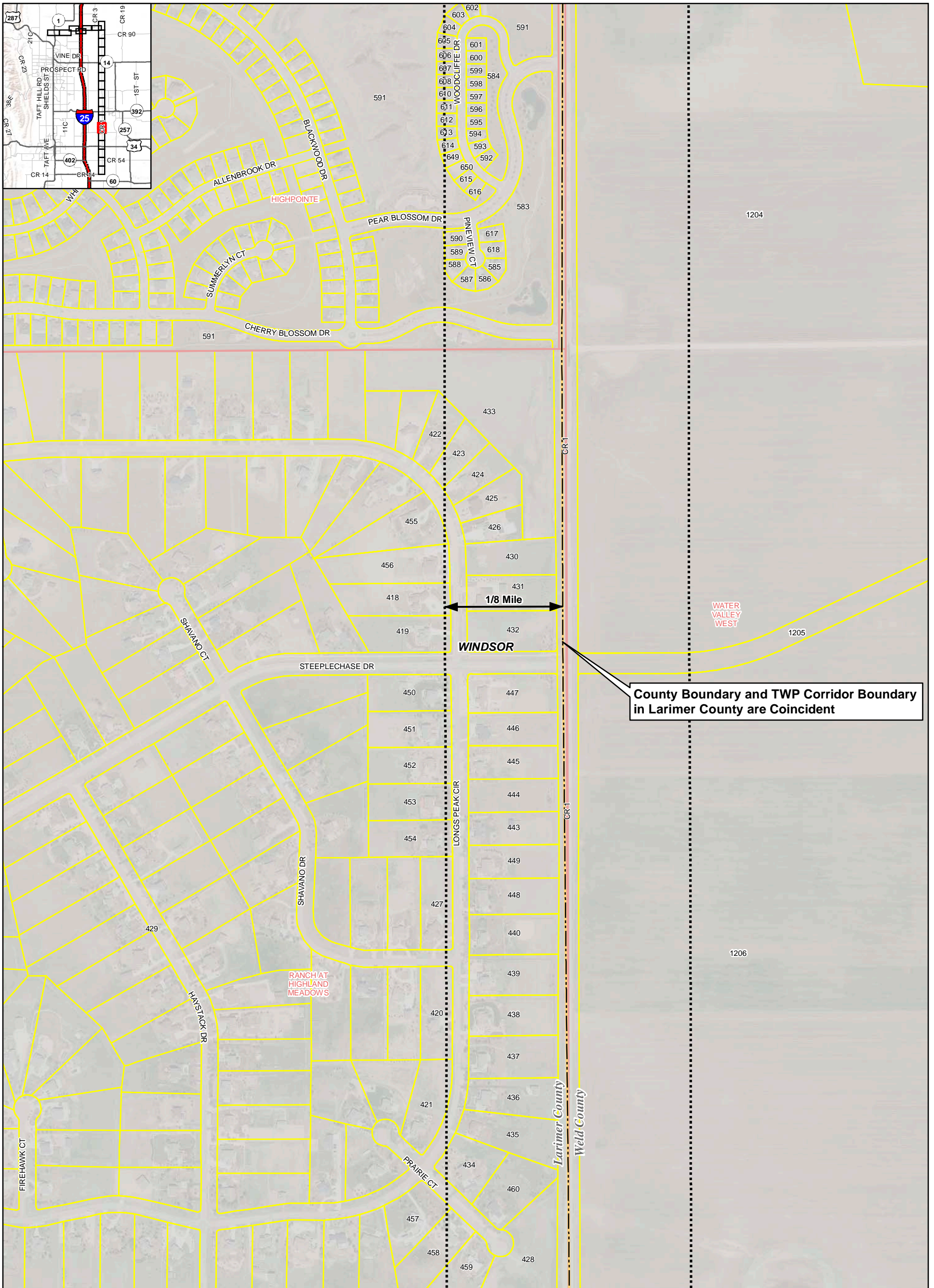
- * Source Water Pump Station General Location
- # Table 3 Parcel ID Number
- Corporate Boundary**
- Windsor
- GMA Boundary
- Windsor

**Figure 3-19
Vicinity Map**


* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIP

Thornton Water Project




County Boundary and TWP Corridor Boundary in Larimer County are Coincident



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0 250 500
Feet

1 inch = 500 feet

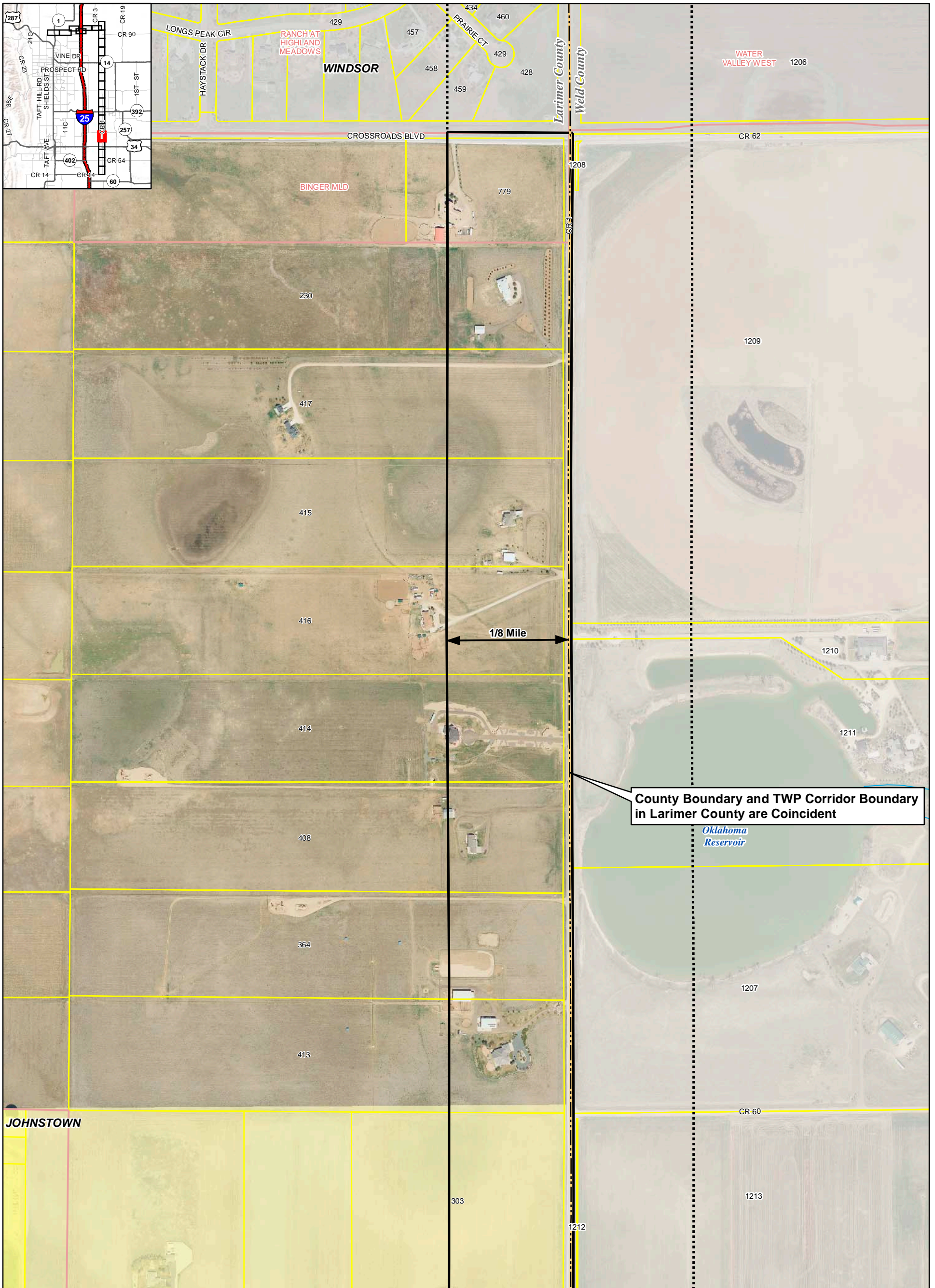
TWP Corridor in Unincorporated Larimer County	*Source Water Pump Station General Location
TWP Corridor outside Unincorporated Larimer County	# Table 3 Parcel ID Number
County Boundary	Corporate Boundary
Parcel Boundary	Windsor
Subdivision	GMA Boundary
Railroad	Windsor
River/Stream/Canal/Ditch	
Water Tank General Location	


**Figure 3-20
Vicinity Map**

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIP

Thornton Water Project






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0 250 500
Feet

1 inch = 500 feet

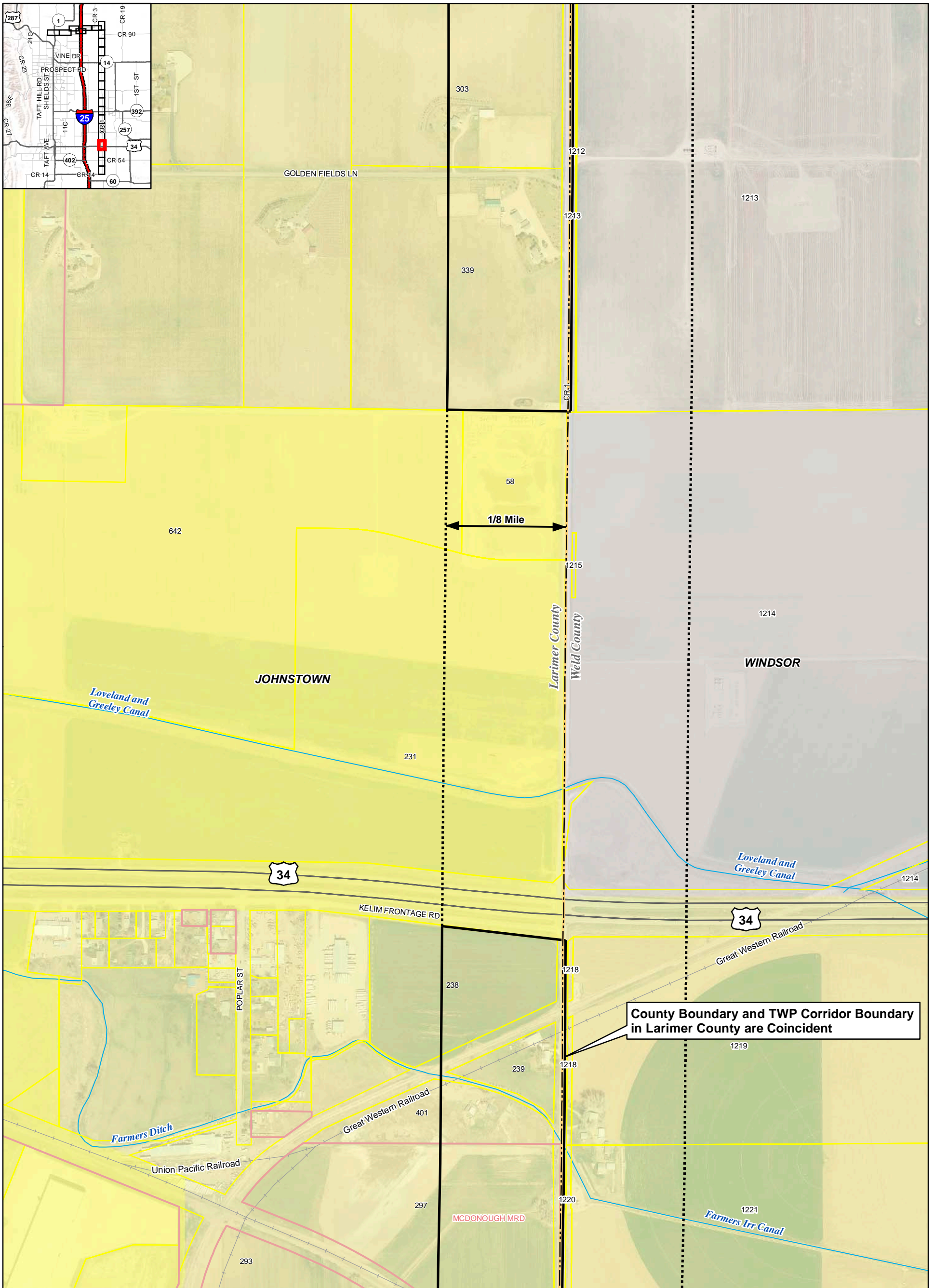
<ul style="list-style-type: none"> TWP Corridor in Unincorporated Larimer County TWP Corridor outside Unincorporated Larimer County County Boundary Parcel Boundary Subdivision Railroad River/Stream/Canal/Ditch Water Tank General Location 	<ul style="list-style-type: none"> * Source Water Pump Station General Location ## Table 3 Parcel ID Number Corporate Boundary Johnstown Windsor GMA Boundary Johnstown Windsor
--	--


**Figure 3-21
Vicinity Map**

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIP

Thornton Water Project






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0 250 500
Feet

1 inch = 500 feet

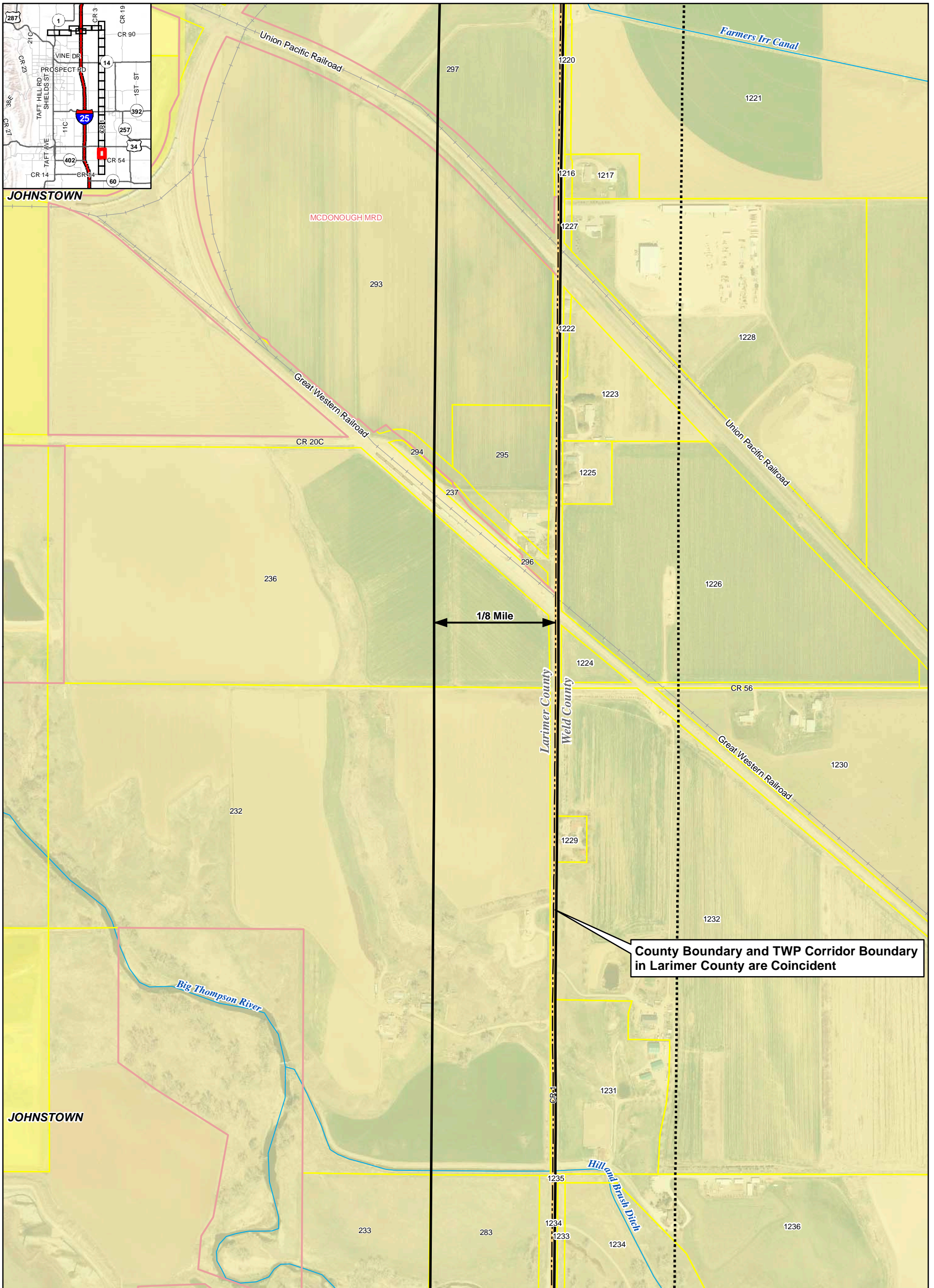
<ul style="list-style-type: none"> TWP Corridor in Unincorporated Larimer County TWP Corridor outside Unincorporated Larimer County County Boundary Parcel Boundary Subdivision Railroad River/Stream/Canal/Ditch Water Tank General Location 	<ul style="list-style-type: none"> * Source Water Pump Station General Location # Table 3 Parcel ID Number Corporate Boundary Johnstown Windsor GMA Boundary Johnstown Windsor
--	---

**Figure 3-22
Vicinity Map**


* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIP

Thornton Water Project




County Boundary and TWP Corridor Boundary in Larimer County are Coincident



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0 250 500
Feet

1 inch = 500 feet

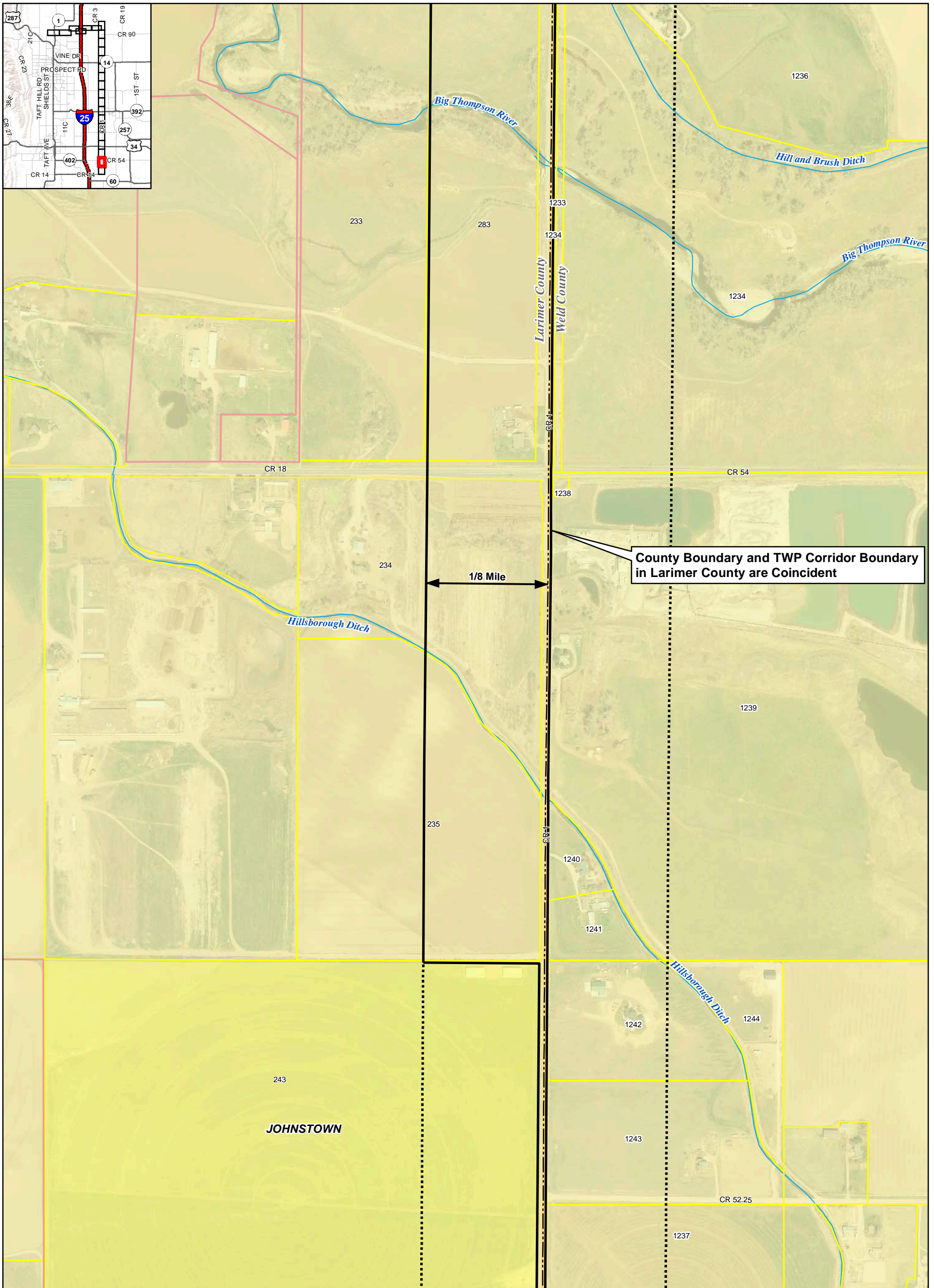
<ul style="list-style-type: none"> TWP Corridor in Unincorporated Larimer County TWP Corridor outside Unincorporated Larimer County County Boundary Parcel Boundary Subdivision Railroad River/Stream/Canal/Ditch Water Tank General Location 	<ul style="list-style-type: none"> * Source Water Pump Station General Location # Table 3 Parcel ID Number Corporate Boundary Johnstown GMA Boundary Johnstown
--	---

**Figure 3-23
Vicinity Map**


* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIP

Thornton Water Project



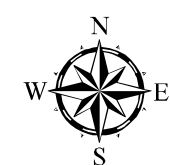
County Boundary and TWP Corridor Boundary in Larimer County are Coincident



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1/2/2018



0 250 500
Feet

1 inch = 500 feet

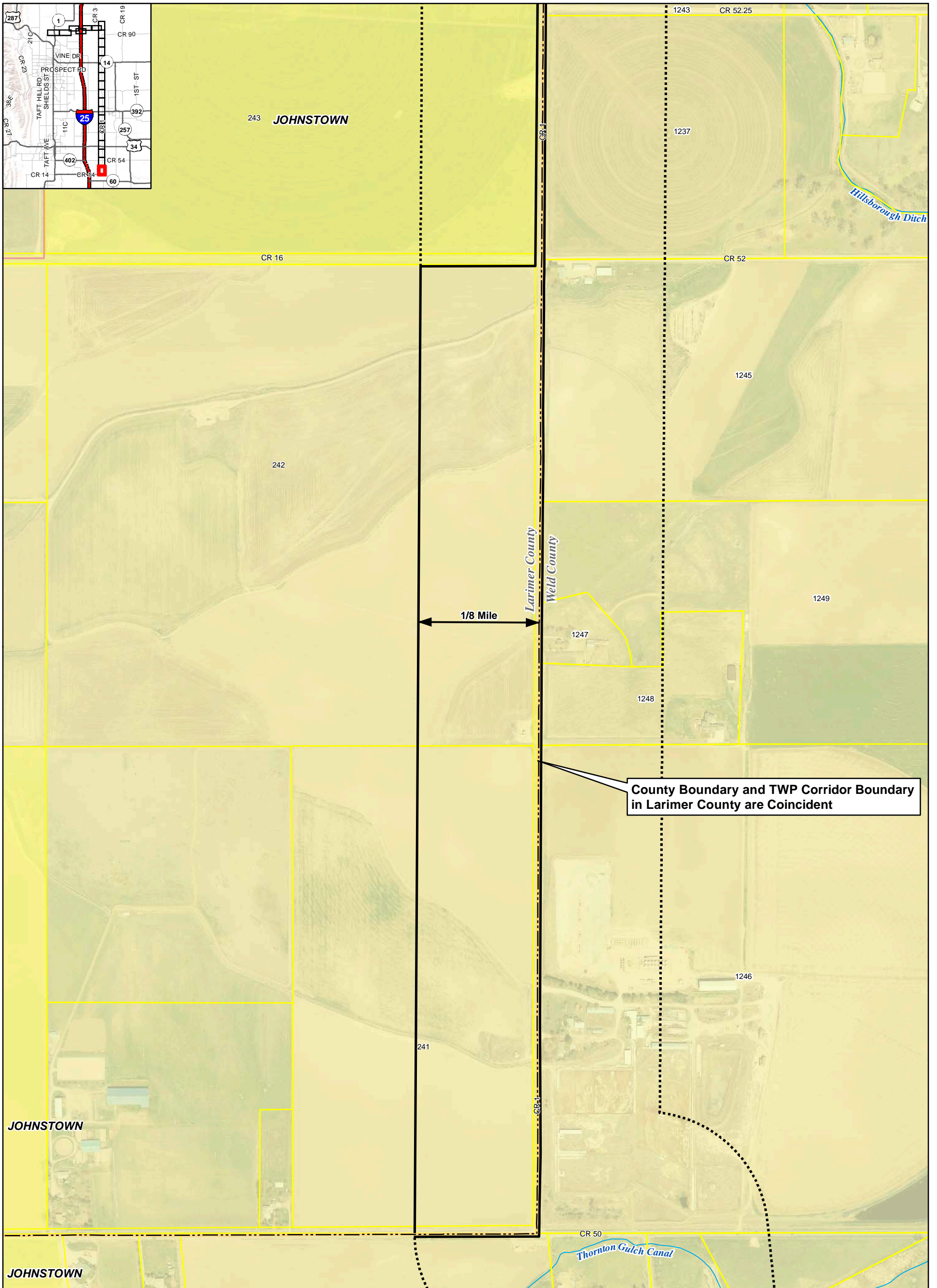
<ul style="list-style-type: none"> TWP Corridor in Unincorporated Larimer County TWP Corridor outside Unincorporated Larimer County County Boundary Parcel Boundary Subdivision Railroad River/Stream/Canal/Ditch Water Tank General Location 	<ul style="list-style-type: none"> * Source Water Pump Station General Location # Table 3 Parcel ID Number Corporate Boundary Johnstown GMA Boundary Johnstown
--	--


**Figure 3-24
Vicinity Map**

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIP

Thornton Water Project






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COLORADO**

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THORNTON, CO 80241-2405

1/2/2018



0 250 500
Feet

1 inch = 500 feet

<ul style="list-style-type: none"> TWP Corridor in Unincorporated Larimer County TWP Corridor outside Unincorporated Larimer County County Boundary Parcel Boundary Subdivision Railroad River/Stream/Canal/Ditch Water Tank General Location 	<ul style="list-style-type: none"> * Source Water Pump Station General Location # Table 3 Parcel ID Number Corporate Boundary Johnstown GMA Boundary Johnstown
--	---

**Figure 3-25
Vicinity Map**

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, DRCOG, NAIP

TABLE 3

Parcel Information within the Larimer County TWP Corridor

Map ID	Parcel Number	Property Owner	C/O	Assessor Mailing Address
1	8601435903	TIMNATH RANCH METRO DISTRICT		550 W EISENHOWER BLVD, LOVELAND, CO, 80537-3106
2	8601434001	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
3	8601434002	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
4	8601434003	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
5	8601434004	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
6	8601434005	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
7	8601434006	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
8	8601434007	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
9	8601434008	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
10	8601434009	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
11	8601434010	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
12	8601434011	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
13	8601434012	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
14	8601434013	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
15	8601434014	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
16	8601434015	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
17	8601434016	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
18	8601434017	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
19	8601434018	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
20	8601434019	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
21	8601434020	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
22	8601434021	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
23	8601434022	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
24	8601434023	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
25	8601434024	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
26	8601434025	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
27	8601434026	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
28	8601434027	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
29	8601434028	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
30	8601434029	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
31	8601434030	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
32	8601434051	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
33	8601434052	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
34	8601434053	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
35	8601434054	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
36	8601434055	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
37	8601434056	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
38	8601434031	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
39	8601434032	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
40	8601434033	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
41	8601434034	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
42	8601434035	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
43	8601434036	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994

TABLE 3

Parcel Information within the Larimer County TWP Corridor

Map ID	Parcel Number	Property Owner	C/O	Assessor Mailing Address
44	8601434037	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
45	8601434038	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
46	8601434039	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
47	8601434040	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
48	8601434041	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
49	8601434042	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
50	8601434043	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
51	8601434044	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
52	8601434045	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
53	8601434046	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
54	8601434047	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
55	8601434048	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
56	8601434049	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
57	8601434050	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
58	8512400002	NORTH TIMNATH PROPERTIES LLC		308 COMMERCE DR UNIT A, FORT COLLINS, CO, 80524
59	8819410701	DAVIES MOBILE PARK LLC		1505 TEAKWOOD CT, FORT COLLINS, CO, 80525-1954
60	8821000004	MAXWELL FARMS		4400 N COUNTY ROAD 9, FORT COLLINS, CO, 80524
61	8819410701	DAVIES MOBILE PARK LLC		1505 TEAKWOOD CT, FORT COLLINS, CO, 80525
62	8724000016	LEE PAMELA L		6721 E COUNTY ROAD 44, FORT COLLINS, CO, 80524-9207
63	8724000016	LEE PAMELA L		6721 E COUNTY ROAD 44, FORT COLLINS, CO, 80524-9207
64	8601131005	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
65	9825213006	SCHOENINGER DANIEL F		405 E DOUGLAS RD, FORT COLLINS, CO, 80524
66	8819410701	GONZALES MARIA DELCARMEN	QUEZADA REYES RAMIRO	1640 E DOUGLAS RD LOT 3A, FORT COLLINS, CO, 80524
67	8725400001	SCHREPEL MARTHA		3309 S COUNTY ROAD 1, WINDSOR, CO, 80550
68	8819410701	DAVIES MOBILE PARK LLC		1505 TEAKWOOD CT, FORT COLLINS, CO, 80525-1954
69	8819410702	DAVIES MERLUE B		1520 E DOUGLAS RD, FORT COLLINS, CO, 80524
70	9826129002	TERRY LAKE PROPERTIES LLC		221 COURTNEES WAY, GEORGETOWN, TX, 78626
71	8819410701	LENZ THELMA		1648 E DOUGLAS RD LOT 2, FORT COLLINS, CO, 80524-1723
72	9826129002	TERRY LAKE PROPERTIES LLC		221 COURTNEES WAY, GEORGETOWN, TX, 78626
73	9826129002	TERRY LAKE PROPERTIES LLC		221 COURTNEES WAY, GEORGETOWN, TX, 78626
74	8819410701	CARBAJAL ADRIAN		1648 E DOUGLAS RD LOT 6, FORT COLLINS, CO, 80524
75	9826129002	BICKEL HAYWARD/FRANCES H		421 S HOWES ST UNIT S801, FORT COLLINS, CO, 80521-2846
76	9826129002	TERRY LAKE PROPERTIES LLC		221 COURTNEES WAY, GEORGETOWN, TX, 78626
77	9826129002	TERRY LAKE PROPERTIES LLC		221 COURTNEES WAY, GEORGETOWN, TX, 78626
78	9826129002	TERRY LAKE PROPERTIES LLC		221 COURTNEES WAY, GEORGETOWN, TX, 78626
79	9826129002	TERRY LAKE PROPERTIES LLC		221 COURTNEES WAY, GEORGETOWN, TX, 78626
80	9826129002	TERRY LAKE PROPERTIES LLC		221 COURTNEES WAY, GEORGETOWN, TX, 78626
81	9826129002	TERRY LAKE PROPERTIES LLC		221 COURTNEES WAY, GEORGETOWN, TX, 78626
82	9826129002	TERRY LAKE PROPERTIES LLC		221 COURTNEES WAY, GEORGETOWN, TX, 78626
83	9826129002	TERRY LAKE PROPERTIES LLC		221 COURTNEES WAY, GEORGETOWN, TX, 78626
84	9826129002	DEJONGE WILLARD	DEJONGE ADELAIDE J	221 W DOUGLAS RD LOT 23, FORT COLLINS, CO, 80524-1392
85	9826129002	TERRY LAKE PROPERTIES LLC		221 COURTNEES WAY, GEORGETOWN, TX, 78626-2273
86	8819410701	MAXWELL PAUL		1640 E DOUGLAS RD LOT 5A, FORT COLLINS, CO, 80524

TABLE 3

Parcel Information within the Larimer County TWP Corridor

Map ID	Parcel Number	Property Owner	C/O	Assessor Mailing Address
87	8819410701	CHAVIRA FAVIAN		1640 E DOUGLAS RD LOT 4A, FORT COLLINS, CO, 80524
88	8725000031	SAMHOURI MOHSENT/DEBRA A		3309 S COUNTY ROAD 1, WINDSOR, CO, 80550-2503
89	8819410701	CHAVEZ ERNESTO	PRIETO CHAVEZ DORA	1648 E DOUGLAS RD LOT 12, FORT COLLINS, CO, 80524
90	8819410701	GONZALES MARIA	VENZOR EDUARDO	1648 E DOUGLAS RD LOT 4, FORT COLLINS, CO, 80524
91	8819410701	PALMER MICHAEL J		1648 E DOUGLAS RD LOT 10, FORT COLLINS, CO, 80524
92	9826129002	TERRY LAKE PROPERTIES LLC		221 COURTNEES WAY, GEORGETOWN, TX, 78626
93	8819410701	SERRANO ANTONIO	SERRANO MARGARITA	1648 E DOUGLAS RD LOT 3, FORT COLLINS, CO, 80524
94	8819410701	JEFFERSON CRAIG		1648 E DOUGLAS RD LOT 14, FORT COLLINS, CO, 80524
95	9826129002	TERRY LAKE PROPERTIES LLC		221 COURTNEES WAY, GEORGETOWN, TX, 78626
96	9826129002	TERRY LAKE PROPERTIES LLC		221 COURTNEES WAY, GEORGETOWN, TX, 78626
97	8819410701	FRAGOZO R JOSE JUAN		1648 E DOUGLAS RD LOT 15, FORT COLLINS, CO, 80524
98	9825213006	DEAN CANDACE L		PO BOX 471, BRIGHTON, CO, 80601
99	8819000047	1950 E DOUGLAS LLC		1950 E DOUGLAS RD LOT 2, FORT COLLINS, CO, 80524
100	8725400001	SCHREPEL MARTHA		3309 S COUNTY ROAD 1, WINDSOR, CO, 80550
101	8819410701	GARCIA JENNIFER		1648 E DOUGLAS RD LOT 8, FORT COLLINS, CO, 80524-1723
102	8701000018	DYECREST		1137 N COUNTY ROAD 1, FORT COLLINS, CO, 80524-9312
103	8701000018	DYECREST		1137 N COUNTY ROAD 1, FORT COLLINS, CO, 80524-9312
104	8701000018	DYECREST		1137 N COUNTY ROAD 1, FORT COLLINS, CO, 80524-9312
105	8701000001	DYE TERENCE		1137 N COUNTY ROAD 1, FORT COLLINS, CO, 80524-9312
106	9826129002	PFLIPSEN STAN J		221 W DOUGLAS RD LOT 17, FORT COLLINS, CO, 80524
107	8819410701	DAVIES MOBILE PARK LLC		1505 TEAKWOOD CT, FORT COLLINS, CO, 80525
108	8819410701	RICKARD JAMES A		PO BOX 136, LAPORTE, CO, 80535
109	8819410701	SCHOENINGER JOHN R	SCHOENINGER DEANNA K	1648 E DOUGLAS RD LOT 19, FORT COLLINS, CO, 80524
110	8819410701	DAVIES MOBILE PARK LLC		1505 TEAKWOOD CT, FORT COLLINS, CO, 80525
111	9826129002	TERRY LAKE PROPERTIES LLC		221 COURTNEES WAY, GEORGETOWN, TX, 78626-2273
112	9826129002	TERRY LAKE PROPERTIES LLC		221 COURTNEES WAY, GEORGETOWN, TX, 78626
113	9826129002	TERRY LAKE PROPERTIES LLC		221 COURTNEES WAY, GEORGETOWN, TX, 78626
114	8819410701	DAVIES MOBILE PARK LLC		1505 TEAKWOOD CT, FORT COLLINS, CO, 80525
115	8819410701	DAVIES MOBILE PARK LLC		1505 TEAKWOOD CT, FORT COLLINS, CO, 80525-1954
116	8819410701	SORENSEN STACEY VAN		1648 E DOUGLAS RD LOT 18, FORT COLLINS, CO, 80524-0000
117	8819410701	DAVIES MOBILE PARK LLC		1505 TEAKWOOD CT, FORT COLLINS, CO, 80525
118	8819410701	DAVIES MOBILE PARK LLC		1505 TEAKWOOD CT, FORT COLLINS, CO, 80525
119	8701000013	ALLEN RICHARD C/SANDRA L		6932 E COUNTY ROAD 48, FORT COLLINS, CO, 80524
120	8701000014	SCHAFFER JAMES H/JAMES	ALLYSON S	800 HELENA CT, FORT COLLINS, CO, 80524-9251
121	8813000002	OAKLEAF JUDY L	OAKLEAF RON	5424 N COUNTY ROAD 3, FORT COLLINS, CO, 80524
122	8814000005	KRUSE DANIEL W/SUSAN L		5524 E COUNTY ROAD 56, FORT COLLINS, CO, 80524
123	8815000904	STATE OF COLORADO	BOARD OF AGRICULTURE	202 ADMINISTRATION BLDG, FORT COLLINS, CO, 80523
124	8819000021	JEWETT NORMAN W		1200 E DOUGLAS RD, FORT COLLINS, CO, 80524
125	8819000022	GRAFF JEDEL/GREGORY DAYTON		3724 N COUNTY ROAD 13, FORT COLLINS, CO, 80524
126	8823000004	REAGAN JAMES O/MARIETTA B		5165 E COUNTY ROAD 56, FORT COLLINS, CO, 80524
127	8824000014	KIDDER MARILYN R TRUST		1430 WINCANTON DR, DEERFIELD, IL, 60015
128	8824000016	BAILEY KATHLEEN		934 E RIDGECREST RD, FORT COLLINS, CO, 80524
129	8830100001	CRYSTAL COVE DEVELOPMENT LLC		8020 S COUNTY ROAD 5 STE 200, WINDSOR, CO, 80528

TABLE 3

Parcel Information within the Larimer County TWP Corridor

Map ID	Parcel Number	Property Owner	C/O	Assessor Mailing Address
130	9825213049	DAVIS VICKI A	GALEN T	3620 TERRY LAKE RD, FORT COLLINS, CO, 80524
131	9825213103	DAHLGREN DARREN C/SANDRA S		419 E DOUGLAS RD, FORT COLLINS, CO, 80524
132	9825107104	WITTRICH KENNETH	YVONNE	1001 E DOUGLAS RD, FORT COLLINS, CO, 80524-1739
133	8813000001	V BAR S COMPANY		3435 RD 59 E, DIX, NE, 69133
134	9825105001	IRVIN CAMILLE L TRUST		1860 RED CLOUD RD, LONGMONT, CO, 80504-2082
135	9825105001	IRVIN CAMILLE L TRUST		1860 RED CLOUD RD, LONGMONT, CO, 80504-2082
136	9824300005	SHEAMAN DEBRA J	SHEAMAN KERRY L	400 E DOUGLAS RD, FORT COLLINS, CO, 80524-2292
137	9824000044	MCALPINE SCOTT W	VALERIE M	928 E DOUGLAS RD, FORT COLLINS, CO, 80524-1738
138	9824000045	STUNTZ CHAUNCEY R	PATTI J	3701 N COUNTY ROAD 13, FORT COLLINS, CO, 80524-0000
139	9824000047	BATES MADELINE L	LIVING TRUST	1117 WINDCREST LN, FORT COLLINS, CO, 80524-0000
140	9825107001	DUERR FELIX M	DUNCAN COLLEEN G	1025 E DOUGLAS RD, FORT COLLINS, CO, 80524-2399
141	9825107002	RICKARD JAMES A	KATRINA M	825 E DOUGLAS RD, FORT COLLINS, CO, 80524-1739
142	9825213005	SIEDOW HENRI A/ANA M		417 E DOUGLAS RD, FORT COLLINS, CO, 80524-1685
143	9825213006	DEAN CANDACE L		PO BOX 471, BRIGHTON, CO, 80601
144	9825213007	GRAVES JAMES BROCK		8236 S LAMAR CT, LITTLETON, CO, 80123
145	8830200005	KESEL M LYNNE		1221 E DOUGLAS RD, FORT COLLINS, CO, 80524-1799
146	9823300002	BRAUCH RICHARD L		3413 CANADIAN PKWY, FORT COLLINS, CO, 80524
147	9823305001	HEWITT CAROLYN	RICK	3701 STARLITE DR, FORT COLLINS, CO, 80524-9628
148	9823305002	WILLARD MICHAEL P	DONNA	3705 STARLITE DR, FORT COLLINS, CO, 80524
149	9823305003	AHMED ANNIKA BUCK	LEMERICH R WARREN	3709 STARLITE DR, FORT COLLINS, CO, 80524-9628
150	9823305005	CARRICO EVERETT D		3713 STARLITE DR, FORT COLLINS, CO, 80524-9628
151	8819000019	BRICKMAN LUCY K		1500 E DOUGLAS RD, FORT COLLINS, CO, 80524-1741
152	8819000030	STRONG BRUCE E/SHARON E		3711 TROUBLE TRL, FORT COLLINS, CO, 80524-0000
153	8819000037	BUCKNER BRIAN R/YOLANDA		3701 N COUNTY ROAD 11, FORT COLLINS, CO, 80524-9457
154	8820000903	CITY OF THORNTON		9500 CIVIC CENTER DR, THORNTON, CO, 80229
155	8821000001	BLEHM DARLINE M		3901 E COUNTY ROAD 56, FORT COLLINS, CO, 80524
156	8821000004	DBL D LLC		4400 N COUNTY ROAD 9, FORT COLLINS, CO, 80524
157	8822000901	CITY OF THORNTON		9500 CIVIC CENTER DR, THORNTON, CO, 80229
158	8822000902	CITY OF THORNTON		9500 CIVIC CENTER DR, THORNTON, CO, 80229
159	9824309001	KIDD WALLACE K/JESSICA B		120 E DOUGLAS RD, FORT COLLINS, CO, 80524
160	9824309003	VALERIUS DIRK G	EKBLAD DIANN C	116 E DOUGLAS RD, FORT COLLINS, CO, 80524
161	9826000002	ANTLER LLC		PO BOX 1664, FORT COLLINS, CO, 80522
162	9823307002	HESS WILLIAM D	JEANENE E	3825 STARLITE DR, FORT COLLINS, CO, 80524-9629
163	9823308001	DOBBERSTINE DAVID GARY	BONNIE L	3805 STARLITE DR, FORT COLLINS, CO, 80524-9629
164	9823308002	GREENO LINDSAY R		3809 STARLITE DR, FORT COLLINS, CO, 80524-9629
165	9824000028	KEETON LORETTA J		1000 E DOUGLAS RD, FORT COLLINS, CO, 80524-1738
166	8822000903	CITY OF THORNTON		9500 CIVIC CENTER DR, THORNTON, CO, 80229
167	8822000904	STATE OF COLORADO	BOARD OF AGRICULTURE	PO BOX 483, FORT COLLINS, CO, 80522
168	8829000901	STATE OF COLORADO	STATE BOARD OF LAND COMMISSIONERS	600 GRANT ST RM 306, DENVER, CO, 80203
169	8830200009	BLINDERMAN ROBERT J	COLLINS JOAN M	1225 E DOUGLAS RD, FORT COLLINS, CO, 80524-1706
170	8830205003	JAN KENNETH D/PATRICIA L		1401 E DOUGLAS RD, FORT COLLINS, CO, 80524
171	8830206001	BLAIR SEAN	JAHN MARIE MORLEY	3640 JUANITA RD, FORT COLLINS, CO, 80524-1720
172	9823300010	WAYKER CHARLES D		PO BOX 453, FORT COLLINS, CO, 80522-0453

TABLE 3

Parcel Information within the Larimer County TWP Corridor

Map ID	Parcel Number	Property Owner	C/O	Assessor Mailing Address
173	9823306001	SCALVA KEITH L		3838 PATRICIA DR, FORT COLLINS, CO, 80524-0000
174	9823306002	TROUT CHRISTINA M	WORTH SANDRA S	3833 STARLITE DR, FORT COLLINS, CO, 80524
175	9823306003	CRAMER THOMAS H	CRAMER DIANE M	4001 STARLITE DR, FORT COLLINS, CO, 80524
176	9823306004	MOXCEY MICHAEL S/CAROL S		4009 STARLITE DR, FORT COLLINS, CO, 80524-9631
177	8814000011	KRUSE KRISTA	HAMMANS BRENT	5320 E COUNTY ROAD 56, FORT COLLINS, CO, 80524-9329
178	8815000907	STATE OF COLORADO	BOARD OF AGRICULTURE	202 ADMINISTRATION BLDG, FORT COLLINS, CO, 80523
179	8816000003	REIFENRATH MARK E		3408 E COUNTY ROAD 52, FORT COLLINS, CO, 80524
180	8817000004	FOLOT REUBEN/LENORA HOMESTEAD LLC	RICHARD DEWAYNE (1/4 INT)	5032 N COUNTY ROAD 11, FORT COLLINS, CO, 80524
181	9826000017	ANDERSON CRAIG A/ASHLEY B		801 W DOUGLAS RD, FORT COLLINS, CO, 80524-1376
182	8814000004	SOPKO WAYNE D/LORRAINE J		5326 E COUNTY ROAD 56, FORT COLLINS, CO, 80524
183	8814000008	KNACKSTEDT WESLEY D/CHERYL I		5116 E COUNTY ROAD 56, FORT COLLINS, CO, 80524
184	9825105010	SMITH SHARON LEA		3612 HIGHLAND DR, FORT COLLINS, CO, 80524
185	9825105016	DELEHOY BETTY ANN		609 E DOUGLAS RD, FORT COLLINS, CO, 80524-1684
186	9825105017	HODSON SCOTT B/MELISSA L		3617 KENYON DR, FORT COLLINS, CO, 80524-1693
187	9825105018	ARON JAMES ALLEN		3613 KENYON DR, FORT COLLINS, CO, 80524-1667
188	9825105002	MULLEN MARGARET-MARY E		1415 REDBERRY CT, FORT COLLINS, CO, 80525
189	9825105008	DELEHOY BETTY ANN		609 E DOUGLAS RD, FORT COLLINS, CO, 80524-1684
190	9825105009	GOSWICK JOHN H/JUDITH K		3616 HIGHLAND DR, FORT COLLINS, CO, 80524-1668
191	9825105024	DOTY CATHLEEN R		701 E DOUGLAS RD, FORT COLLINS, CO, 80524-1739
192	9825105025	EDWARDS RICHARD M/GLORIA J		3612 KENYON DR, FORT COLLINS, CO, 80524-1666
193	9826105044	WINTEROWD JUDITH C/IRVIN D		3613 CANADIAN PKWY, FORT COLLINS, CO, 80524
194	9826105045	ZALOUDEK FRANK J/SUE A		3617 CANADIAN PKWY, FORT COLLINS, CO, 80524
195	9826105046	COX JESSE AND CAROL	LIVING TRUST	512 CANADIAN PKWY, FORT COLLINS, CO, 80524
196	9826105047	CONANT DALE H/MARTHA G		508 CANADIAN PKWY, FORT COLLINS, CO, 80524
197	9826105048	STAMPFLI WENDELL P	COX BETSY K	504 CANADIAN PKWY, FORT COLLINS, CO, 80524
198	9826105049	BOGREN KARIN L		500 CANADIAN PKWY, FORT COLLINS, CO, 80524
199	9826105001	KITCHELL ROBERT P	CAROLE T	412 TERRY POINT DR, FORT COLLINS, CO, 80524-1359
200	9825206039	BOYT RICHARD TODD	MAUREEN BERKNER	3617 TERRY RIDGE RD, FORT COLLINS, CO, 80524
201	9825206040	PRATT JOHN	LAURA	3625 TERRY RIDGE RD, FORT COLLINS, CO, 80524
202	9825206041	ZAPERT JAMES G		3635 TERRY RIDGE RD, FORT COLLINS, CO, 80524
203	9825206042	MACALLISTER DOUGLAS P	PATIRICIA L	3629 WOODRIDGE RD, FORT COLLINS, CO, 80524-1664
204	9825206043	MCCAULEY JAMES E/MARY		3617 WOODRIDGE RD, FORT COLLINS, CO, 80524-1664
205	9825206046	POWELL CORRYN/CRAIG		3616 TERRY RIDGE RD, FORT COLLINS, CO, 80524
206	9825206047	SOMDAY KENNETH F	PARRISH KAREN M	425 W PROSPECT RD, FORT COLLINS, CO, 80526
207	9825213047	MCCULLOCH RICHARD/MICHAELENE		301 E DOUGLAS RD, FORT COLLINS, CO, 80524
208	9825213089	MCCULLOCH RICHARD/MICHAELENE		301 E DOUGLAS RD, FORT COLLINS, CO, 80524-1685
209	9825213102	JACHOWSKI PHYLLIS E/TIMOTHY P		3620 SHORE RD, FORT COLLINS, CO, 80524
210	9825213112	SAGER NORMAN O JR	FASCIANO-SAGER LAUREN J	3616 SHORE RD, FORT COLLINS, CO, 80524
211	9825206012	KORB MARK L/PATRICIA K		3630 WOODRIDGE RD, FORT COLLINS, CO, 80524
212	9825206013	HOWARD RACHEL A (.90)	GOLDSTEIN MARK S (.10)	3618 WOODRIDGE RD, FORT COLLINS, CO, 80524
213	9826105002	FERRANS BRIAN THOMAS	FERRANS BRITTANY SHELDON	408 TERRY POINT DR, FORT COLLINS, CO, 80524-0000
214	8701000001	DYECREST DAIRY LLC		1137 N COUNTY ROAD 1, FORT COLLINS, CO, 80524-9312
215	8712000901	CITY OF GREELEY		1100 10TH ST FL 3, GREELEY, CO, 80631-3876

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Map ID	Parcel Number	Property Owner	C/O	Assessor Mailing Address
216	8712000002	BOHEMIAN REAL ESTATE IV LLC		262 E MOUNTAIN AVE, FORT COLLINS, CO, 80524-2821
217	9824309016	VALERIUS DIRK G	EKBLAD DIANN C	116 E DOUGLAS RD, FORT COLLINS, CO, 80524
218	9824308001	SCHMER SCOTT/AMY F		208 E DOUGLAS RD, FORT COLLINS, CO, 80524
219	9824308002	SCHMER SCOTT/AMY F		208 E DOUGLAS RD, FORT COLLINS, CO, 80524-0000
220	9824308004	GUIO FAMILY TRUST		3724 LA MESA DR, FORT COLLINS, CO, 80524
221	8821000003	QTR D INC		4400 N COUNTY ROAD 9, FORT COLLINS, CO, 80524
222	8724000016	BECKER ROBERT L COMPANY		6721 E COUNTY ROAD 44, FORT COLLINS, CO, 80524-9207
223	8724000016	BECKER ROBERT L COMPANY		6721 E COUNTY ROAD 44, FORT COLLINS, CO, 80524-9207
224	8725000031	SCHREPEL INC		3309 S COUNTY ROAD 1, WINDSOR, CO, 80550-2503
225	8625000002	PACE BRADLEY D	PACE RODNEY O	1900 S SHIELDS ST, FORT COLLINS, CO, 80526
226	8612000001	JOHNSON LARUE W/MARY E		PO BOX 328, HOWARD, CO, 81233-0328
227	8613000001	LONE TREE INVESTMENTS LLC		6200 W 10TH ST, GREELEY, CO, 80634
228	8613000907	TOWN OF WINDSOR		301 WALNUT ST, WINDSOR, CO, 80550
229	8624000901	UNITED WATER AND SANITATION	DISTRICT	8301 E PRENTICE AVE STE 100, GREENWOOD VILLAGE, CO, 80111
230	8501000001	KNUDTSON DEWAYNE M/CINDY M		3995 N COUNTY ROAD 1, LOVELAND, CO, 80538
231	8512000002	MIRACLE ON 34 LLC		4801 GOODMAN ST, TIMNATH, CO, 80547
232	8524000001	CALKINS BARBARA U TRUST (.50)	BURNS DANA L (.50)	13905 BERRY RD, GOLDEN, CO, 80401-1519
233	8524000002	LOVELAND READY MIX CONCRETE INC		PO BOX 299, LOVELAND, CO, 80539
234	8525000001	LOVELAND READY-MIX CONCRETE INC		PO BOX 299, LOVELAND, CO, 80539
235	8525000002	PHILLIPS GEORGE R	TRUSTEE ET AL	800 WILSHIRE BLVD 1500, LOS ANGELES, CA, 90017-2619
236	8513000003	FOLLEY JUDITH ELAINE FAMILY TRUST	MCDONOUGH DAVID LIVING TRUST	916 SKIPPING STONE CT, TIMNATH, CO, 80547-4406
237	8513000009	NAGL MICHAEL B		644 PLANET PL, DENVER, CO, 80221
238	8513100012	GHABOOSI MAJID/ANSARI NADEREH TRUST	AMIRFATHI KARIM/SHARON J (1/2)	16 CALELLA, LAGUNA NIGUEL, CA, 92677-8618
239	8513100023	MOE DENNIS G/BARBARA J		1209 N COUNTY ROAD 1, LOVELAND, CO, 80534
240	8820000007	KRAFT LIVESTOCK LLC		3200 N GIDDINGS RD, FORT COLLINS, CO, 80524-9477
241	8536000002	BETZ EVELYN H TRUST		612 CHARLOTTE ST, JOHNSTOWN, CO, 80534-8614
242	8536000001	ANDERSON FARMS INC		PO BOX 2186, LOVELAND, CO, 80539
243	8525000004	DWD INVESTMENT GROUP LLC		1508 STILLWATER AVE, CHEYENNE, WY, 82009-7319
244	9823400018	VIGIL LARRY L	VIGIL JANE	112 W DOUGLAS RD, FORT COLLINS, CO, 80524-1306
245	9824000059	MACMILLAN CHRISTINA LOUISE	ANDERSON ANDREW BEAU	7389 DOUGLAS LAKE RANCH RD, FORT COLLINS, CO, 80524
246	9826208001	TERRY ACRES HOMEOWNERS ASSOCIATION		3505 BAYSTONE DR, FORT COLLINS, CO, 80524
247	9826207001	DONOVAN RYAN M/ELIZABETH M		3609 BAY SHORE RD, FORT COLLINS, CO, 80524
248	9826207002	SPENCER WILLIAM P/ELAINE H		3605 BAY SHORE RD, FORT COLLINS, CO, 80524
249	9823400019	CARNS BRENDA		180 W DOUGLAS RD, FORT COLLINS, CO, 80524-1306
250	8819000040	COOVER MARTIN M	COOVER CHERYL A	3705 N COUNTY ROAD 11, FORT COLLINS, CO, 80524
251	8813000007	CARE LLC		400 E COUNTY ROAD 72, WELLINGTON, CO, 80549
252	8701000016	WEATHERFORD ROBERT W	MELINDA L	840 HELENA CT, FORT COLLINS, CO, 80524-9251
253	8819000041	SCHIRBER MICHAEL A	SCHIRBER ALESIA M	1340 E DOUGLAS RD, FORT COLLINS, CO, 80524-0000
254	8813000012	FAGERBERG DIANE		6350 E COUNTY ROAD 56, FORT COLLINS, CO, 80524
255	9825106001	CORLISS GLENN EDWARD		725 E DOUGLAS RD, FORT COLLINS, CO, 80524
256	9825106002	GOLDGOR RESOURCES LLC		PO BOX 273180, FORT COLLINS, CO, 80527-3180
257	9825106003	BUTLER CHARLES H		817 E DOUGLAS RD, FORT COLLINS, CO, 80524-1739
258	8612000012	HOFF SP FAMILY TRUST		6405 S COUNTY ROAD 1, WINDSOR, CO, 80550

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Map ID	Parcel Number	Property Owner	C/O	Assessor Mailing Address
259	8813000013	LIGGETT MICHAEL D/ANN S		6680 E COUNTY ROAD 56, FORT COLLINS, CO, 80524
260	8701000018	DYECREST DAIRY LLC		1137 N COUNTY ROAD 1, FORT COLLINS, CO, 80524-9312
261	8701000018	DYECREST DAIRY LLC		1137 N COUNTY ROAD 1, FORT COLLINS, CO, 80524-9312
262	8701000018	DYECREST DAIRY LLC		1137 N COUNTY ROAD 1, FORT COLLINS, CO, 80524-9312
263	8830207002	KONTZ WAYNE A/MELINDA A		1421 E DOUGLAS RD, FORT COLLINS, CO, 80524
264	8830207004	VOLESKY KRISTY R	MCJUNKIN JANICE L	3625 JUANITA RD, FORT COLLINS, CO, 80524
265	8819000047	1950 E DOUGLAS LLC		5800 MONROE ST BLDG F, SYLVANIA, OH, 43560
266	8825005701	MASKE DANNY R		3333 N COUNTY ROAD 1, FORT COLLINS, CO, 80524-0000
267	8825005702	WITHROW STEPHEN J	SUSAN LEE	3229 N COUNTY ROAD 1, FORT COLLINS, CO, 80524-0000
268	8825005703	LEMBCKE CHRISTOPHER H/VICTORIA K		3039 N COUNTY ROAD 1, FORT COLLINS, CO, 80524-0000
269	9823405702	NANCE DAVID B/JODI M		400 W DOUGLAS RD, FORT COLLINS, CO, 80524
270	9823405703	KINTZLEY RAYMOND/KWEI-PAO CHEN		584 W DOUGLAS RD, FORT COLLINS, CO, 80524-4801
271	8724000030	HALLEY LESLEY Y		1965 S COUNTY ROAD 1, FORT COLLINS, CO, 80524
272	8813000014	ROBINSON CHARLES/DEBRA		7040 E COUNTY ROAD 56, FORT COLLINS, CO, 80524-9340
273	8725000035	POULSON DAVID J	PENNINGTON SUSAN J	3509 S COUNTY ROAD 1, WINDSOR, CO, 80550
274	8824005701	HANSON BRYAN K/DEBORAH G		6649 E COUNTY ROAD 56, FORT COLLINS, CO, 80524
275	8824005702	HERICKHOFF LISA A		6363 E COUNTY ROAD 56, FORT COLLINS, CO, 80524
276	8824005703	SULLIVAN WALTER/REBECCA A		4651 COBB LAKE DR, FORT COLLINS, CO, 80524-9321
277	8601000008	HILL STEPHANIE I/DAVID B		PO BOX 86, TIMNATH, CO, 80547
278	9824000006	KLINE LARRY DEAN	MARIANNE T	3704 N HIGHWAY 1, FORT COLLINS, CO, 80524-0000
279	8712005901	CITY OF GREELEY		1100 10TH ST FL 3, GREELEY, CO, 80631-3876
280	8825006701	EMBURY ETCETERA TRUST		2381 ROSECRANS AVE STE 350, EL SEGUNDO, CA, 90245-4920
281	8825006702	ROWLAND DOLORES J	ANTHONY T	3627 N COUNTY ROAD 1, FORT COLLINS, CO, 80524-0000
282	8825006703	SPRADLEY KRISS E/JACLYN A REV TRUST		3453 N COUNTY ROAD 1, FORT COLLINS, CO, 80524-0000
283	8524000017	LOVELAND READY MIX CONCRETE INC		PO BOX 299, LOVELAND, CO, 80539
284	8819005701	RAU NICOLE J		3817 TWILIGHT LN, FORT COLLINS, CO, 80524-3394
285	8819005702	ABSHIRE MARK SHELDON/JACKIE THAXTON		3829 TWILIGHT LN, FORT COLLINS, CO, 80524-0000
286	8819005703	LONNEMAN RONALD LEE TRUST	LONNEMAN KAY ANN TRUST	3828 TWILIGHT LN, FORT COLLINS, CO, 80524-0000
287	8825008001	WALTERS BRADY E/KATHERINE D		6952 GANDER WAY, FORT COLLINS, CO, 80524
288	8825008009	SHIVELY ROBERT T/TARA		2721 N COUNTY ROAD 1, FORT COLLINS, CO, 80524-9344
289	9823310001	LEWIS GORDON/JUNE DONNA TRUST		3821 STARLITE DR, FORT COLLINS, CO, 80524
290	9823310002	LEWIS RONALD S		3813 STARLITE DR, FORT COLLINS, CO, 80524
291	8813000015	SMITH CHARLES R/PATRICIA A		5157 N COUNTY ROAD 1, FORT COLLINS, CO, 80524-9346
292	8725000036	EVANS GREGORY C/THERESA I REVOCABLE	TRUST	7020 E COUNTY ROAD 40, WINDSOR, CO, 80550
293	8513010702	FOLLEY JUDITH E TRUST - T J FOLLEY (.25)	FOLLEY JUDITH E TRUST - W E FOLLEY (.25)	916 SKIPPING STONE CT, TIMNATH, CO, 80547-4406
294	8513010702	FOLLEY JUDITH E TRUST - T J FOLLEY (.25)	FOLLEY JUDITH E TRUST - W E FOLLEY (.25)	916 SKIPPING STONE CT, TIMNATH, CO, 80547-4406
295	8513010703	MCDONOUGH DAVID M/LYNN M		307 N COUNTY ROAD 1, JOHNSTOWN, CO, 80534
296	8513010703	MCDONOUGH DAVID M/LYNN M		307 N COUNTY ROAD 1, JOHNSTOWN, CO, 80534
297	8513110701	FOLLEY JUDITH E TRUST - T J FOLLEY (.25)	FOLLEY JUDITH E TRUST - W E FOLLEY (.25)	916 SKIPPING STONE CT, TIMNATH, CO, 80547-4406
298	8824007001	ROSENBERG WALTER A/PAULA K		4545 COBB LAKE DR, FORT COLLINS, CO, 80524
299	8824007010	KILLPACK CHARLES AND MARSHA TRUST		4546 COBB LAKE DR, FORT COLLINS, CO, 80524
300	8824000025	THIESZEN MILFORD E/SALLY		6959 SUNWATER WAY, FORT COLLINS, CO, 80524-0000
301	8824000026	WELSH THOMAS P		4100 KECHTER RD, FORT COLLINS, CO, 80528

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Map ID	Parcel Number	Property Owner	C/O	Assessor Mailing Address
302	9823311028	LEO COREY WAYNE/KATHERINE WALSE		4110 VISTA LAKE DR, FORT COLLINS, CO, 80524-9699
303	8512000005	HARMON BRIAN A	MARGARET E	8985 GOLDEN FIELDS LN, LOVELAND, CO, 80538
304	8821000007	FORT COLLINS SOCCER CLUB		2721 S COLLEGE AVE 10, FORT COLLINS, CO, 80525-2199
305	9826122006	HALLAM ANNA DEE/RONALD J		393 CAPTAINS CT, FORT COLLINS, CO, 80524
306	9826122007	GREENMAN LINDA	STEADMAN RICHARD T	389 CAPTAINS CT, FORT COLLINS, CO, 80524
307	9826122008	ATKIN PATRICK LEON/KATHLEEN MCMAHON		385 CAPTAINS CT, FORT COLLINS, CO, 80524
308	9826122009	TOWBIN MICHAEL M/MIA A		419 CAPTAINS CT, FORT COLLINS, CO, 80524-4834
309	9826122014	REILLY SHARON K (.50)	HAUCK JOHN J (.50)	3670 POINT DR, FORT COLLINS, CO, 80524
310	9826122015	HARVEY RICKY GLENN	KAREN ELIZABETH	3666 POINT DR, FORT COLLINS, CO, 80524
311	9823414001	EAGLE LAKE ASSOCIATION		PMB 239, FORT COLLINS, CO, 80524-3251
312	9823414002	EAGLE LAKE ASSOCIATION		PMB 239, FORT COLLINS, CO, 80524-3251
313	8817000027	GILLETTE EDWARD L	SHARON M	2880 E COUNTY ROAD 56, FORT COLLINS, CO, 80524
314	8817000027	GILLETTE EDWARD L	SHARON M	2880 E COUNTY ROAD 56, FORT COLLINS, CO, 80524
315	9826124001	MOOK SARA E		419 CAPTAINS CT, FORT COLLINS, CO, 80524-4834
316	9826124002	GROVE BRIAN P		415 CAPTAINS CT, FORT COLLINS, CO, 80524-0000
317	9826124003	CAMPBELL CRAIG B	LUNDGREN BETTY J	PO BOX 273462, FORT COLLINS, CO, 80527
318	9826124004	LONG DEE ETTA		407 CAPTAINS CT, FORT COLLINS, CO, 80524
319	9826124005	HAWK ELECTA JANE	HUESKE LAVERN A	403 CAPTAINS CT, FORT COLLINS, CO, 80524
320	9826125001	POINT TOWNHOMES ASSN/THE		760 WHALERS WAY UNIT C200, FORT COLLINS, CO, 80525-3373
321	8624406031	PENHALE RICHARD W A/EMMA K		1104 RIDGE WEST DR, WINDSOR, CO, 80550
322	8624406032	STREETER WILLIAM J	PATRICIA B	1178 RIDGE WEST DR, WINDSOR, CO, 80550
323	8624406033	OLIVER THOMAS C	PATRICIA A	1200 RIDGE WEST DR, WINDSOR, CO, 80550
324	8624406034	SEAGO STANLEY M/LAURA A		1260 RIDGE WEST DR, WINDSOR, CO, 80550
325	8624406035	BOURASSA JEAN B	BOURASSA LINDA M	1103 RIDGE WEST DR, WINDSOR, CO, 80550
326	8624406036	DAILY SHARIANNE/JOHN W		1177 RIDGE WEST DR, WINDSOR, CO, 80550
327	8624406037	LINDSAY MICHAEL R/ELLEN I		1185 RIDGE WEST DR, WINDSOR, CO, 80550
328	8624406038	LAMASTERS RYAN J/JULIE M		1191 RIDGE WEST DR, WINDSOR, CO, 80550
329	8624406039	PERALTA ROBERT/NICHOLLE		1265 RIDGE WEST DR, WINDSOR, CO, 80550
330	8624406040	DAUBERT SARA JO	RUDELLE BRADLEY C	1299 RIDGE WEST DR, WINDSOR, CO, 80550
331	8624406041	PEDERSON STEVEN ROBERT/ANDREA S		1351 RIDGE WEST DR, WINDSOR, CO, 80550
332	8624406042	KIMURA KHY H/KIMBERLY A S		1397 RIDGE WEST DR, WINDSOR, CO, 80550
333	8624406043	RODENHISER KATHLEEN A		1445 RIDGE WEST DR, WINDSOR, CO, 80550
334	8624406044	DEMILLION BARRY/AINI		1493 RIDGE WEST DR, WINDSOR, CO, 80550
335	8624406045	ROTNER DANIEL C/ANGELA S		1555 RIDGE WEST DR, WINDSOR, CO, 80550
336	8624406046	FREEMAN LEE WHITNEY		1591 RIDGE WEST DR, WINDSOR, CO, 80550
337	8624406047	SILK GREGORY/DANA L		1647 RIDGE WEST DR, WINDSOR, CO, 80550
338	8624406048	MURPHY WILLIAM T	LINDA K	1699 RIDGE WEST DR, WINDSOR, CO, 80550
339	8512000007	ALLEN GARTH H/MARGARET P		9088 GOLDEN FIELDS LN, LOVELAND, CO, 80538
340	8825409007	EVERITT GRANT D		6944 GANDER WAY, FORT COLLINS, CO, 80524-0000
341	8825409008	BRIGHT KATHRYN E	SPALDING ROSS G	7011 GANDER WAY, FORT COLLINS, CO, 80524
342	8624406001	JOHNSON-MCCULLA JEAN		1901 LOOKOUT DR, WINDSOR, CO, 80550
343	8624406002	VAN RONK MARK F/DERLYN D		1905 LOOKOUT DR, WINDSOR, CO, 80550
344	8624406003	GOODMANN TIMOTHY E/JULIE P		1909 LOOKOUT DR, WINDSOR, CO, 80550

TABLE 3

Parcel Information within the Larimer County TWP Corridor

Map ID	Parcel Number	Property Owner	C/O	Assessor Mailing Address
345	8624406004	RIGGIO J MICHAEL	BEVERLY Y	1913 LOOKOUT DR, WINDSOR, CO, 80550
346	8624406005	SHAFER JOHN M TRUST THE	SHAFER MICHELE M TRUST THE	1917 LOOKOUT DR, WINDSOR, CO, 80550
347	8624406008	LEE CLINTON D		913 LOOKOUT CT, WINDSOR, CO, 80550
348	8624406009	STOHLGREN THOMAS J	OSTERMAN-STOHLGREN CINDY G	919 LOOKOUT CT, WINDSOR, CO, 80550
349	8624406010	FISCHER DAVID A/PATRICIA J		905 LOOKOUT CT, WINDSOR, CO, 80550
350	8624406011	OLIENYK JOHN P	HINE SUSAN E	904 LOOKOUT CT, WINDSOR, CO, 80550
351	8624406012	RICHARDSON EMILY TRUST		908 LOOKOUT CT, WINDSOR, CO, 80550
352	8624406013	WEISS JOHN E/DANA M		912 LOOKOUT CT, WINDSOR, CO, 80550
353	8624406014	BUSCHKE LINDA JEAN	CLAUSON ROBERT S	1910 LOOKOUT DR, WINDSOR, CO, 80550
354	8624406015	HIGGINS JODI L/STEVEN SCOTT		1912 LOOKOUT DR, WINDSOR, CO, 80550
355	8624406016	HARTMAN STEPHEN A/CARRIE L FAMILY	TRUST AGREEMENT OF	1095 RIDGE WEST DR, WINDSOR, CO, 80550
356	8624406078	HENLEY HOMES LLC		7902 WELLSHIRE CT, LONGMONT, CO, 80503
357	8624406079	PRENGER THOMAS L	SHELLY S	1580 RIDGE WEST DR, WINDSOR, CO, 80550
358	8624406080	LEONARD JOHN R TRUST AGREEMENT (.50)	LEONARD SUSAN R TRUST AGREEMENT (.50)	1500 RIDGE WEST DR, WINDSOR, CO, 80550-0000
359	8624406081	LAUDERDALE GEORGE W/MARY JANET		1199 TRAILS END CT, WINDSOR, CO, 80550-4647
360	8624406082	COLE COLIN C/BRIANNA C		1185 TRAILS END CT, WINDSOR, CO, 80550
361	8624406088	ROSS STEPHEN D/KIM L		1198 TRAILS END CT, WINDSOR, CO, 80550
362	9823421701	MESSICK WESLEY B	KATHLEEN D	370 W DOUGLAS RD, FORT COLLINS, CO, 80524
363	9823421702	DIDIER EMMANUEL	HASLER HALEY F	342 W DOUGLAS RD, FORT COLLINS, CO, 80524
364	8501000012	EAGLEBERGER STEPHANIE		3051 N COUNTY ROAD 1, LOVELAND, CO, 80538
365	8624411001	RIDGE WEST PUD COMMUNITY	ASSOCIATION	706 S COLLEGE AVE STE 202, FORT COLLINS, CO, 80524
366	8624411002	RIDGE WEST PUD COMMUNITY	ASSOCIATION	706 S COLLEGE AVE STE 202, FORT COLLINS, CO, 80524
367	8624411003	RIDGE WEST PUD COMMUNITY	ASSOCIATION	706 S COLLEGE AVE STE 202, FORT COLLINS, CO, 80524
368	8816305701	JONES MICAH J	REBECCA D	3420 E COUNTY ROAD 56, FORT COLLINS, CO, 80524
369	8816305702	TREE FARM PART II LLC		118 E COUNTY ROAD 76, WELLINGTON, CO, 80549
370	8624408001	SCHORLING SCOTT/JACQUELYN		1912 HILLSIDE PL, WINDSOR, CO, 80550-5615
371	8624408002	KLEIN KELLY M		1914 HILLSIDE PL, WINDSOR, CO, 80550
372	8624408003	GADD CHRISTOPHER/ALIX		1916 HILLSIDE PL, WINDSOR, CO, 80550
373	8624408004	GENTRY GENE R	GENTRY CAROL D	1918 HILLSIDE PL, WINDSOR, CO, 80550
374	8624408005	MCLENDON DOROTHY J		1920 HILLSIDE PL, WINDSOR, CO, 80550-5615
375	8624410006	SISNEY GARY K		1900 LOOKOUT DR, WINDSOR, CO, 80550
376	8624410007	CALLISTER JAMES R/NANCY K		1904 LOOKOUT DR, WINDSOR, CO, 80550-4632
377	9826127016	HO PUI SHING/MARGARET NERVIK		3542 HARBOR WAY, FORT COLLINS, CO, 80524
378	9826127017	BLEDSON SAMUEL O/SUSAN A		3650 HARBOR WAY, FORT COLLINS, CO, 80524
379	9826127018	CLOSSON BRADLEY M	FRARE BARBARA L	3658 HARBOR WAY, FORT COLLINS, CO, 80524
380	9826128001	TERRY COVE HOMEOWNERS ASSOCIATION INC		3699 HARBOR WAY, FORT COLLINS, CO, 80524
381	9826128002	TERRY COVE HOMEOWNERS ASSOCIATION INC		3699 HARBOR WAY, FORT COLLINS, CO, 80524
382	9826129002	TERRY LAKE PROPERTIES LLC		221 COURTNEES WAY, GEORGETOWN, TX, 78626
383	8624108015	LARSON MILAN D/JAYMIE L		1917 REFLECTION PL, WINDSOR, CO, 80550
384	8624108016	FISHER CHRISTOPHER/CHELSEA		1913 REFLECTION PL, WINDSOR, CO, 80550
385	8624108017	SAENZ RAUL OSCAR	DORA L	1909 REFLECTION PL, WINDSOR, CO, 80550
386	8624108018	GWILLIAM KELVIN		1905 REFLECTION PL, WINDSOR, CO, 80550
387	8624109007	RIVER WEST PUD COMMUNITY ASSOCIATION		706 S COLLEGE AVE STE 202, FORT COLLINS, CO, 80524

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Parcel Information within the Larimer County TWP Corridor

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388	9826127001	STEVENS JOHN B JR TRUST		3665 HARBOR WAY, FORT COLLINS, CO, 80524
389	9826127002	NICKOLOFF JAC A	HORENSKY DEBRA S	3657 HARBOR WAY, FORT COLLINS, CO, 80524
390	8624407003	RIDGE WEST PUD COMMUNITY	ASSOCIATION	706 S COLLEGE AVE STE 202, FORT COLLINS, CO, 80524
391	8624108019	EVERETT STEPHEN/ANTOINETTE		1901 REFLECTION PL, WINDSOR, CO, 80550-0000
392	8624108020	SMOTHERMAN CHARLES B	SMOTHERMAN CAROL A	1904 REFLECTION PL, WINDSOR, CO, 80550
393	8624108021	HAGGARD MARSHALL K/DONNA E		1908 REFLECTION PL, WINDSOR, CO, 80550
394	8624108022	BURDICK LISA		1912 REFLECTION PL, WINDSOR, CO, 80550
395	8624108023	MAVIS BRIAN M/JULIE D		1916 REFLECTION PL, WINDSOR, CO, 80550-4612
396	8624108024	JOHNSON DAVID S/ANNETTE		1919 BLISS PL, WINDSOR, CO, 80550
397	8624108025	DONLEY RICHARD A/CYNTHIA A		1911 BLISS PL, WINDSOR, CO, 80550
398	8624108026	DORLAC PATRICIA E/WALTER J		1903 BLISS PL, WINDSOR, CO, 80550
399	8624108027	LASHELL JAMES DEAN/JENNIFER L		1914 BLISS PL, WINDSOR, CO, 80550
400	8624108028	NULL	NULL	1920 BLISS PL, WINDSOR, CO, 80550
401	8513100054	LOVE VALERIE J/KEVIN		1253 N COUNTY ROAD 1, JOHNSTOWN, CO, 80534
402	8624109013	RIVER WEST PUD COMMUNITY ASSOCIATION		706 S COLLEGE AVE STE 202, FORT COLLINS, CO, 80524
403	8624409001	RIVER WEST PUD COMMUNITY ASSOCIATION		706 S COLLEGE AVE STE 202, FORT COLLINS, CO, 80524
404	8624408213	PATTERSON CHRISTOPHER/JESSICA		1921 HILLSIDE PL, WINDSOR, CO, 80550
405	9823419080	MATSON TERRY HOLTEN	TAMMY LYNN	445 DEERFIELD CIR, FORT COLLINS, CO, 80524
406	9823419081	ROBERTS LEE A/TERRIE L		439 DEERFIELD CIR, FORT COLLINS, CO, 80524-8604
407	9823419082	CAMPANA RALPH S/MARIE		433 DEERFIELD CIR, FORT COLLINS, CO, 80524
408	8501000013	BLAIR NICHOLAS M/HEIDI M		3379 N COUNTY ROAD 1, LOVELAND, CO, 80538
409	9826130012	FROEMKE PAMELA MARIE		3669 POINT DR, FORT COLLINS, CO, 80524
410	8824000027	HOWE RANDALL REX/MARY NELL		6900 COUNTY ROAD 54, FORT COLLINS, CO, 80524
411	9826130010	MSH REAL PROPERTIES-A LLC		4420 EAGLE LAKE DR, FORT COLLINS, CO, 80524
412	9826130011	MCCLUSKEY FAMILY TRUST		3673 POINT DR, FORT COLLINS, CO, 80524
413	8501000015	EAGLEBERGER STEPHANIE		3051 N COUNTY ROAD 1, LOVELAND, CO, 80538
414	8501000016	STPEPEL MARY ELAINE	PETER M	3381 N COUNTY ROAD 1, LOVELAND, CO, 80538-8857
415	8501000014	FEYEN JOHN R/JUDITH A		3687 N COUNTY ROAD 1, LOVELAND, CO, 80538
416	8501000017	GEIST DONNA L/JAMES E		3685 N COUNTY ROAD 1, LOVELAND, CO, 80538
417	8501000018	NULL	NULL	3993 N COUNTY ROAD 1, LOVELAND, CO, 80538
418	8636110022	GREWE PAUL A/JAN E		8731 LONGS PEAK CIR, WINDSOR, CO, 80550
419	8636110023	LEAHY ERIN	SCHURGER JAMES	7362 NEW RAYMER CT, FORT COLLINS, CO, 80525
420	8636408023	GREGORY DAVID/AMY		8881 LONGS PEAK CIR, WINDSOR, CO, 80550
421	8636408024	MARQUARDT MARTHA S REV TRUST	MARQUARDT RICHARD P REV TRUST	4416 PRAIRIE CT, WINDSOR, CO, 80550
422	8636111042	HEKOWCZYK ROY ALAN/KELLEY ELIZABETH		8742 LONGS PEAK CIR, WINDSOR, CO, 80550
423	8636111043	SCHMIDT KLAIR J/KATHLEEN M		8740 LONGS PEAK CIR, WINDSOR, CO, 80550
424	8636111044	GALLEGOS MATHEW T/KAREN M		8738 LONGS PEAK CIR, WINDSOR, CO, 80550
425	8636111045	BURKE ALAN	NEALY STEPHANIE M	8736 LONGS PEAK CIR, WINDSOR, CO, 80550-2647
426	8636111046	GLASCO ALIESA		8734 LONGS PEAK CIR, WINDSOR, CO, 80550-2647
427	8636409010	HENGGELER JASON M/ERRIN L		4726 SHAVANO DR, WINDSOR, CO, 80550
428	8636414002	RANCH AT HIGHLANDS MEADOWS LLC/THE		2601 S LEMAY AVE STE 7-424, FORT COLLINS, CO, 80525
429	8636414905	TOWN OF WINDSOR		301 WALNUT ST, WINDSOR, CO, 80550
430	8636111047	WARLICK DAVID	SEATON CRYSTAL	8732 LONGS PEAK CIR, WINDSOR, CO, 80550-2647

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431	8636111048	DAVIS JAMES D/VANESA R		8730 LONGS PEAK CIR, WINDSOR, CO, 80550
432	8636111049	TURNER MATTHEW T/JILL M		235 GLEN ROY AVE, JOHNSTOWN, CO, 80534
433	8636114003	RANCH AT HIGHLANDS MEADOWS LLC/THE		2601 S LEMAY AVE STE 7-424, FORT COLLINS, CO, 80525-2295
434	8636405010	CHANEY ROBERT D/RHONDA J		4356 PRAIRIE CT, WINDSOR, CO, 80550
435	8636405011	MOORE LAKENDREA G/MICHAH E		8874 LONGS PEAK CIR, WINDSOR, CO, 80550
436	8636405012	KEETON TIMOTHY H		8876 LONGS PEAK CIR, WINDSOR, CO, 80550
437	8636405013	LEWIS KIM T/REBECCA J		8878 LONGS PEAK CIR, WINDSOR, CO, 80550
438	8636405014	BARTON JAMES/LAURA LIVING TRUST		8880 LONGS PEAK CIR, WINDSOR, CO, 80550-2576
439	8636405015	JONES JOSEPH D/PEGGY A		8882 LONGS PEAK CIR, WINDSOR, CO, 80550
440	8636405016	ERPS ALAN L/JAMIE L		8884 LONGS PEAK CIR, WINDSOR, CO, 80550
441	8613105001	GEORGE LUKE/MARIE F		6805 S COUNTY ROAD 1, WINDSOR, CO, 80550-2546
442	8613105002	GEORGE J MARK/LINDA S		6801 S COUNTY ROAD 1, WINDSOR, CO, 80550-0000
443	8636105019	HOLST SCOTT	DONNA	8890 LONGS PEAK CIR, WINDSOR, CO, 80550
444	8636105020	CHAPMAN BUSTER T LIVING TRUST 2013	CHAPMAN MARGARET A LIVING TRUST 2013	10239 COOL MIST ST, LAS VEGAS, NV, 89178-8419
445	8636105021	VANDEBURG PERRY/HEIDI		8894 LONGS PEAK CIR, WINDSOR, CO, 80550-2576
446	8636105022	PARRISH DAVID L		8896 LONGS PEAK CIR, WINDSOR, CO, 80550-2576
447	8636105023	CARR PETER M/LISA M		8898 LONGS PEAK CIR, WINDSOR, CO, 80550
448	8636405017	ULLMANN THOMAS F/BARBARA J		8886 LONGS PEAK CIR, WINDSOR, CO, 80550-2576
449	8636405018	MAYFIELD JOHN B/JENNA S		8888 LONGS PEAK CIR, WINDSOR, CO, 80550
450	8636109005	KETCHUM TRUST		8899 LONGS PEAK CIR, WINDSOR, CO, 80550
451	8636109006	CURCI ROBERT P JR/JEN		8897 LONGS PEAK CIR, WINDSOR, CO, 80550
452	8636109007	MALONEY LEO A/PAMELA D		8895 LONGS PEAK CIR, WINDSOR, CO, 80550
453	8636109008	KIRKHAM CALVIN D/DEBORAH J		8893 LONGS PEAK CIR, WINDSOR, CO, 80550
454	8636109009	ZAMBELLI OTAVIO GUSSON	ZAMBELLI ALESSANDRA CRISTINA MONTAGNER	8891 LONGS PEAK CIR, WINDSOR, CO, 80550-2568
455	8636110020	CHAMBERS REX NOLAN/DANA CHERIE		PO BOX 237, WINDSOR, CO, 80550-0000
456	8636110021	OWEN RICHARD/JULIE		8733 LONGS PEAK CIR, WINDSOR, CO, 80550
457	8636405006	DAVIS HOWARD/DYANA		4353 PRAIRIE CT, WINDSOR, CO, 80550
458	8636405007	YABLONSKI STEPHEN H/KAREN B		4293 PRAIRIE CT, WINDSOR, CO, 80550-2565
459	8636405008	BRAGG STEVEN K/KATHY E		4281 PRAIRIE CT, WINDSOR, CO, 80550
460	8636405009	NAVE BRIAN D/KIMBERLY G		4310 PRAIRIE CT, WINDSOR, CO, 80550-2570
461	8813000018	V BAR S COMPANY		3435 RD 59 E, DIX, NE, 69133
462	8813000019	V BAR S COMPANY		3435 RD 59 E, DIX, NE, 69133
463	8813000020	V BAR S COMPANY		3435 RD 59 E, DIX, NE, 69133
464	9824309017	OCONNELL MICHAEL C		108 E DOUGLAS RD, FORT COLLINS, CO, 80524
465	8830210002	LENTE CAMRON G		3570 HEARTHFIRE WAY, FORT COLLINS, CO, 80524
466	9824000965	COUNTY OF LARIMER		200 W OAK ST, FORT COLLINS, CO, 80521
467	9824300911	WATER SUPPLY AND STORAGE CO		2319 E MULBERRY ST, FORT COLLINS, CO, 80524
468	8830211901	CITY OF FORT COLLINS		PO BOX 580, FORT COLLINS, CO, 80522
469	9823000917	WATER SUPPLY AND STORAGE CO		2319 E MULBERRY ST, FORT COLLINS, CO, 80524
470	8830210001	PROSPECT ENERGY LLC		1036 COUNTRY CLUB ESTATES DR, CASTLE ROCK, CO, 80108-3488
471	8725000918	CACHE LA POUDE IRRIGATION CO		PO BOX 356, GREELEY, CO, 80631
472	8836000902	STATE OF COLORADO	STATE SCHOOL LAND	1313 SHERMAN ST, DENVER, CO, 80203-2236
473	8814000902	STATE OF COLORADO	DIVISION OF WILDLIFE	6060 BROADWAY, DENVER, CO, 80216

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474	8814000913	STATE OF COLORADO	BOARD OF AGRICULTURE	202 ADMINISTRATION BLDG, FORT COLLINS, CO, 80523
475	8819300951	COUNTY OF LARIMER		200 W OAK ST, FORT COLLINS, CO, 80521
476	8819300952	COUNTY OF LARIMER		200 W OAK ST, FORT COLLINS, CO, 80521
477	8823000905	WRCC INC		106 ELM ST, EATON, CO, 80615
478	8625105007	GIARRUSSO NICOLAS J/MICHELLE R		5603 FALLING WATER DR, FORT COLLINS, CO, 80528
479	8625105008	NAGL MICHAEL J/AMANDA L		1957 YONKEE DR, WINDSOR, CO, 80550-4683
480	8625105009	RHODES MARK D/NANCY V		1958 YONKEE DR, WINDSOR, CO, 80550
481	8701000921	WATER SUPPLY AND STORAGE CO		PO BOX 1584, FORT COLLINS, CO, 80522
482	8701000020	DYECREST DAIRY LLC		1137 N COUNTY ROAD 1, FORT COLLINS, CO, 80524-9312
483	9826128005	TERRY COVE HOMEOWNERS ASSOCIATION INC		3699 HARBOR WAY, FORT COLLINS, CO, 80524
484	8625105001	MILLER ANGELA R		1415 BISON RIDGE CT, WINDSOR, CO, 80550
485	8625105002	AGNEW DAVID W/JACQUELINE A		1401 BISON RIDGE CT, WINDSOR, CO, 80550
486	8625105003	CUMMINGS MARK D	BRENDA	1406 BISON RIDGE CT, WINDSOR, CO, 80550
487	8625105004	NEELY GERALD A/DEBRA A		1412 BISON RIDGE CT, WINDSOR, CO, 80550
488	8625105005	STEWART DAVID A/JO ANN C		1418 BISON RIDGE CT, WINDSOR, CO, 80550-4678
489	8625105006	CURTIS ZACHARIAH T/JOANNA E		1729 MACCULLEN DR, ERIE, CO, 80516-7554
490	8823307002	HILL COMMUNITY ASSOCIATION/THE		3112 TALIESIN WAY, FORT COLLINS, CO, 80524
491	8823307003	HILL COMMUNITY ASSOCIATION/THE		3112 TALIESIN WAY, FORT COLLINS, CO, 80524
492	8830213001	HEARTHFIRE ASSOCIATION		2850 MCCLELLAND DR STE 1000, FORT COLLINS, CO, 80525
493	8612406001	HELZER JAMES/SANDRA		6195 S COUNTY ROAD 1, FORT COLLINS, CO, 80524
494	8612406002	HELZER JAMES R	SANDRA HOY	6301 COUNTY ROAD 13, WINDSOR, CO, 80550
495	8612407001	HELZER JAMES R	SANDRA HOY	6301 COUNTY ROAD 13, WINDSOR, CO, 80550
496	8625105044	RING JOHN MICHAEL/JACQUELYN M		1952 YONKEE DR, WINDSOR, CO, 80550
497	8625105045	HARDING WENDELL W JR/SHIRLEY J		1937 BISON RIDGE DR, WINDSOR, CO, 80550
498	8625105046	LEWIS FAMILY TRUST/THE	LEWIS W M/B G TRUSTEES	1925 BISON RIDGE DR, WINDSOR, CO, 80550
499	8625105047	HUEBNER PATRICK H/DEANNE R		1919 BISON RIDGE DR, WINDSOR, CO, 80550-4675
500	8625105048	DUCK ALLEN	DUCK ANNE	1903 BISON RIDGE DR, WINDSOR, CO, 80550-0000
501	8625105049	SMITH JEFFREY	DEBRA	1519 YONKEE DR, WINDSOR, CO, 80550
502	8625105050	PALLAORO ALAN/SARA		1516 LANDON CT, WINDSOR, CO, 80550
503	8625105051	LARSON ROBERT JAMES II	LARSON TAMMIE MARIE	1515 LANDON CT, WINDSOR, CO, 80550
504	8625105052	BARTH JUDITH ANN		1557 LANDON CT, WINDSOR, CO, 80550
505	8625105053	BRUNNER DARL J/BECKY L		1573 LANDON CT, WINDSOR, CO, 80550
506	8625105054	EGGLESTON RICHARD J JR		1591 LANDON CT, WINDSOR, CO, 80550-4690
507	8625105055	PALMER MARK H		1592 LANDON CT, WINDSOR, CO, 80550
508	8625105056	THOMPSON KAREN A/ROBERT A		1578 LANDON CT, WINDSOR, CO, 80550
509	8625105057	EINHELLIG RICHARD RAY	EINHELLIG KATRINA SUE	1556 LANDON CT, WINDSOR, CO, 80550
510	8625105058	IWANCHUK ROBERT M/MARGARET G		1534 LANDON CT, WINDSOR, CO, 80550
511	8625105059	MOECK BRIAN H		1537 YONKEE DR, WINDSOR, CO, 80550
512	8625105060	KATALINAS EDITH L TRUST		1555 YONKEE DR, WINDSOR, CO, 80550
513	8625105061	BALL MICHAEL T/KRISTINE M		1579 YONKEE DR, WINDSOR, CO, 80550
514	8625105062	SCHERER DAN R/B JAN		1593 YONKEE DR, WINDSOR, CO, 80550
515	8625105063	DAVIS TIMOTHY LESTER/LYNN HARRIS		1598 YONKEE DR, WINDSOR, CO, 80550-0000
516	8625105064	SUTHERLAND TODD W/CYNTHIA L		1572 YONKEE DR, WINDSOR, CO, 80550

TABLE 3

Parcel Information within the Larimer County TWP Corridor

Map ID	Parcel Number	Property Owner	C/O	Assessor Mailing Address
517	8625105065	LOWRY CHRIS/JAIMIE		1554 YONKEE DR, WINDSOR, CO, 80550-4679
518	8625105066	LYON DONALD W/SUSAN J		1536 YONKEE DR, WINDSOR, CO, 80550-4679
519	8625105067	CAMPBELL KEVIN/DEBORA		1518 YONKEE DR, WINDSOR, CO, 80550
520	8625105068	HANSBROUGH JAMES G REVOCABLE TRUST (.667	HANSBROUGH REBECCA S REVOCABLE TRUST (.3	1502 YONKEE DR, WINDSOR, CO, 80550-4679
521	8625105070	JONES DIANE S TRUST		1537 FOLSUM DR, WINDSOR, CO, 80550-4668
522	8625105071	MOTH LARRY A/CAROL F		1559 FOLSUM DR, WINDSOR, CO, 80550
523	8625105072	PARROTT GARY A/BARBARA A		1575 FOLSUM DR, WINDSOR, CO, 80550
524	8625105073	MCBLAIR CINDY	CLINTON SCOTT	1597 FOLSUM DR, WINDSOR, CO, 80550
525	8625105110	NICHOLS FAMILY TRUST		1917 KAPLAN DR, WINDSOR, CO, 80550
526	8625105111	BALDWIN DOUGLAS TODD/MICHELLE ANN		1905 KAPLAN DR, WINDSOR, CO, 80550
527	8625106001	BISON RIDGE HOMEOWNERS ASSOCIATION		1218 W ASH ST STE A, WINDSOR, CO, 80550
528	8625106002	BISON RIDGE HOMEOWNERS ASSOCIATION		1218 W ASH ST STE A, WINDSOR, CO, 80550
529	8625106003	BISON RIDGE HOMEOWNERS ASSOCIATION		1218 W ASH ST STE A, WINDSOR, CO, 80550
530	8625106005	BISON RIDGE HOMEOWNERS ASSOCIATION		1218 W ASH ST STE A, WINDSOR, CO, 80550
531	8625106006	BISON RIDGE HOMEOWNERS ASSOCIATION		1218 W ASH ST STE A, WINDSOR, CO, 80550
532	8625106007	BISON RIDGE HOMEOWNERS ASSOCIATION		1218 W ASH ST STE A, WINDSOR, CO, 80550
533	8625105106	ECKLES EDITH L/STEPHEN G		1955 KAPLAN DR, WINDSOR, CO, 80550
534	8625105107	SCHNEIDER MARK C/MICHELLE J		1949 KAPLAN DR, WINDSOR, CO, 80550
535	8625105108	MCABEE FAIMLY TRUST		1931 KAPLAN DR, WINDSOR, CO, 80550-4669
536	8625105109	BURRUS LEE ANN		1923 KAPLAN DR, WINDSOR, CO, 80550
537	8713406003	TEAL CREEK HOMEOWNERS ASSOCIATION		220 E MULBERRY ST, FORT COLLINS, CO, 80524
538	8713406004	TEAL CREEK HOMEOWNERS ASSOCIATION		220 E MULBERRY ST, FORT COLLINS, CO, 80524
539	8713406005	TEAL CREEK HOMEOWNERS ASSOCIATION		220 E MULBERRY ST, FORT COLLINS, CO, 80524
540	8830212005	HARPER RONALD R/JOYCE E		3532 HEARTHFIRE DR, FORT COLLINS, CO, 80524
541	8713105034	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
542	8713105035	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
543	8713105036	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
544	8713105037	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
545	8713105038	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
546	8713105039	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
547	8713105040	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
548	8713105041	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
549	8713105042	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
550	8713105043	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
551	8713105044	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
552	8713106001	TEAL CREEK HOMEOWNER ASSOCIATION		220 E MULBERRY ST, FORT COLLINS, CO, 80524
553	8713106002	TEAL CREEK HOMEOWNERS ASSOCIATION		220 E MULBERRY ST, FORT COLLINS, CO, 80524
554	8713405045	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
555	8713405046	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
556	8713405047	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
557	8713405048	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
558	8821406001	HAYES SHARON R		3700 E DOUGLAS RD, FORT COLLINS, CO, 80524
559	8713405049	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522

TABLE 3

Parcel Information within the Larimer County TWP Corridor

Map ID	Parcel Number	Property Owner	C/O	Assessor Mailing Address
560	8713405050	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
561	8713405051	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
562	8713405052	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
563	8713405053	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
564	8713405054	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
565	8713405055	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
566	8713405056	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
567	8713405057	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
568	8713405058	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
569	8713405059	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
570	8713105001	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
571	8713105002	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
572	8713105023	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
573	8713105028	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
574	8713105029	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
575	8713105030	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
576	8713105031	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
577	8713105032	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
578	8713105033	K AND M CO		PO BOX 449, FORT COLLINS, CO, 80522
579	8820105702	KRAFT JASON E/CHERI L		162 KRAFT LN, FORT COLLINS, CO, 80524
580	8813300001	MORAK KAREN LLC		PO BOX 1526, WELLINGTON, CO, 80549
581	8820105701	HAFERMAN DAN A	KELLY D	2955 E COUNTY ROAD 56, FORT COLLINS, CO, 80524
582	8625405377	HORTON TRAVIS J/KIMBERLY S		6121 WOODCLIFFE DR, WINDSOR, CO, 80550
583	8625406908	HIGHPOINTE VISTA METROPOLITAN DISTRICT N		333 W DRAKE RD STE 142, FORT COLLINS, CO, 80526-6319
584	8625406009	HIGHPOINT LAND ACQUISITION LLC		13305 FRANKLIN ST, THORNTON, CO, 80241
585	8625405029	BLANKENHORN CHRISTOPHER A/TAYLOR A		5734 PINEVIEW CT, WINDSOR, CO, 80550
586	8625405030	GONZALES ELIZABETH J		4926 MCPHERSON AVE, SAINT LOUIS, MO, 63108-1608
587	8625405031	PJALIANI ANTHONY/PATRICE		5725 PINEVIEW CT, WINDSOR, CO, 80550
588	8625405032	BARR JADEN R/TORRIE		5735 PINEVIEW CT, WINDSOR, CO, 80550
589	8625405033	VON CARLOWITZ DENISE M		5745 PINEVIEW CT, WINDSOR, CO, 80550
590	8625405034	GREEN ROBERT H/TAMI		5755 PINEVIEW CT, WINDSOR, CO, 80550-0000
591	8625306001	HIGHPOINT LAND ACQUISITION LLC		PO BOX 537, WINDSOR, CO, 80550
592	8625405001	ARMITSTEAD RICK		5854 WOODCLIFFE DR, WINDSOR, CO, 80550-8026
593	8625405002	KENRICK CONSTRUCTION LLC		318 KIRKLAND LN, JOHNSTOWN, CO, 80534
594	8625405003	KNYSH ZACHARY		30262 CROWN VALLEY PKWY STE B-521, LAGUNA NIGUEL, CA, 92677
595	8625405004	MCDONALD SCOTT M/ELIZABETH W		5934 WOODCLIFFE DR, WINDSOR, CO, 80550
596	8625405005	GREGORY FAMILY TRUST		5954 WOODCLIFFE DR, WINDSOR, CO, 80550
597	8625405006	KENRICK CONSTRUCTION LLC		318 KIRKLAND LN, JOHNSTOWN, CO, 80534
598	8625405007	KENRICK CONSTRUCTION LLC		318 KIRKLAND LN, JOHNSTOWN, CO, 80534
599	8625405008	SCHOFIELD JOSEPH S/PATRICIA A		6014 WOODCLIFFE DR, WINDSOR, CO, 80550
600	8625405009	SCHUELER STEPHEN W/EURSA LYNN		6034 WOODCLIFFE DR, WINDSOR, CO, 80550
601	8625405010	EDDY DAVID ALLAN/JANET L		1540 MAIN ST UNIT 218-238, WINDSOR, CO, 80550-7913
602	8625405011	FREY HENRY C TRUST	MAREE SUSAN TRUST	6113 WOODCLIFFE DR, WINDSOR, CO, 80550-8024

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Map ID	Parcel Number	Property Owner	C/O	Assessor Mailing Address
603	8625405012	AUDETTE BRIAN/KAREN L		6093 WOODCLIFFE DR, WINDSOR, CO, 80550-8023
604	8625405013	PAULLUS GREGORY C FAMILY TRUST		6073 WOODCLIFFE DR, WINDSOR, CO, 80550
605	8625405014	BAUERMEISTER JAMES D/JILL L		3628 53RD ST, COLUMBUS, NE, 68601
606	8625405015	MILLER LARRY JOE	BOURNE-MILLER MARJORIE A	6033 WOODCLIFFE DR, WINDSOR, CO, 80550
607	8625405016	BAKER JOHN R SR/PATRICIA M		6013 WOODCLIFFE DR, WINDSOR, CO, 80550-8023
608	8625405017	ELLINGER SHARON L		5993 WOODCLIFFE DR, WINDSOR, CO, 80550
609	9825216002	NIBEL DONNA M		3608 TERRY LAKE RD, FORT COLLINS, CO, 80524-1673
610	8625405018	AGAN DALE W/CONSTANCE J		5973 WOODCLIFFE DR, WINDSOR, CO, 80550
611	8625405019	COOK DAVID R/GLENNA BLISS		5953 WOODCLIFFE DR, WINDSOR, CO, 80550
612	8625405020	PLOUGHMAN DOUGLAS A		5933 WOODCLIFFE DR, WINDSOR, CO, 80550-8025
613	8625405021	WESTLIND GARY/DIANE M		5913 WOODCLIFFE DR, WINDSOR, CO, 80550
614	8625405022	BERKHEIM PATRICK J/LINDA K		5893 WOODCLIFFE DR, WINDSOR, CO, 80550-8026
615	8625405025	KENRICK CONSTRUCTION LLC		318 KIRKLAND LN, JOHNSTOWN, CO, 80534
616	8625405026	TOKUNAGA MILTON/BARBARA		5813 WOODCLIFFE DR, WINDSOR, CO, 80550-8026
617	8625405027	WALLIS DANIEL/ELISE		5754 PINEVIEW CT, WINDSOR, CO, 80550-8027
618	8625405028	DEBERARD JOHN W/LORIE K		5744 PINEVIEW CT, WINDSOR, CO, 80550
619	8736117179	HIGHGATE LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
620	8725105002	JONES JASON M/DANIELLE R		7121 WILDSHORE DR, TIMNATH, CO, 80547
621	8725105003	LANE MATTHEW/CAMARA		7367 MCCLELLAN RD, WELLINGTON, CO, 80549
622	8725105004	SPANJER CONSTRUCTION CORPORATION		5131 S COLLEGE AVE STE A, FORT COLLINS, CO, 80525
623	8736117190	HIGHGATE LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
624	8736117191	HIGHGATE LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
625	8736117192	HIGHGATE LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
626	8736117193	HIGHGATE LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
627	8736117194	HIGHGATE LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
628	8736117195	HIGHGATE LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
629	8736117196	HIGHGATE LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
630	8736117197	HIGHGATE LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
631	8736117198	HIGHGATE LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
632	8736117199	HIGHGATE LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
633	8736117200	HIGHGATE LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
634	8736117201	HIGHGATE LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
635	8736117202	HIGHGATE LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
636	8736117203	HIGHGATE LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
637	8736117204	HIGHGATE LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
638	9823406001	LEE RALPH EDWARD/KIMBERLY J MEYER		1208 HILLSIDE CT, FORT COLLINS, CO, 80524
639	8724411912	WILDWING METROPOLITAN DISTRICT NO 1		450 E 17TH AVE STE 400, DENVER, CO, 80203
640	8725105001	WILDWING III LLC		1120 POST RD 2ND FL, DARIEN, CT, 06820
641	8724411976	WILDWING METROPOLITAN DISTRICT NO 1		450 E 17TH AVE STE 400, DENVER, CO, 80203
642	8512400001	NORTH TIMNATH PROPERTIES LLC		308 COMMERCE DR UNIT A, FORT COLLINS, CO, 80524
643	8725112961	WILDWING METROPOLITAN DISTRICT NO 1		450 E 17TH AVE STE 400, DENVER, CO, 80203
644	8725112962	WILDWING METROPOLITAN DISTRICT NO 1		450 E 17TH AVE STE 400, DENVER, CO, 80203
645	8736117205	HIGHGATE LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339

TABLE 3

Parcel Information within the Larimer County TWP Corridor

Map ID	Parcel Number	Property Owner	C/O	Assessor Mailing Address
646	8736120009	HARMONY LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
647	8736120010	HIGHGATE LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
648	8736120011	HIGHGATE LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
649	8625407001	KENRICK CONSTRUCTION LLC		318 KIRKLAND LN, JOHNSTOWN, CO, 80534
650	8625407002	KENRICK CONSTRUCTION LLC		318 KIRKLAND LN, JOHNSTOWN, CO, 80534
651	8820406001	KRAFT LIVESTOCK LLC		3200 N GIDDINGS RD, FORT COLLINS, CO, 80524
652	8601128005	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
653	8736433002	HARMONY LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
654	8736433003	HARMONY LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
655	8724441005	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
656	8724441006	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
657	8724441007	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
658	8724441008	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
659	8724441009	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
660	8724441010	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
661	8724441011	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
662	8724442001	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
663	8724442002	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
664	8724442003	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
665	8724443001	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
666	8724443002	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
667	8724443003	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
668	8724443004	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
669	8724443005	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
670	8724443006	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
671	8724444001	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
672	8724444002	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
673	8601127020	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
674	8601127021	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
675	8601128001	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
676	8601128002	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
677	8601128003	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
678	8601128004	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
679	8724445001	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
680	8724445002	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
681	8724445003	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
682	8724445004	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
683	8724445005	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
684	8736429375	HARMONY LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2275
685	8736429376	STONEFIELD HOLDINGS LLC		6578 ROOKERY RD, FORT COLLINS, CO, 80528-9491
686	8736429377	HARMONY LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2275
687	8736429378	STONEBROOK CUSTOM HOMES LLC		6390 GARDENIA ST UNIT 240, ARVADA, CO, 80004-3537
688	8736429379	LUXURY HOMES OF NORTHERN COLORADO LLC		PO BOX 271969, FORT COLLINS, CO, 80527

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Parcel Information within the Larimer County TWP Corridor

Map ID	Parcel Number	Property Owner	C/O	Assessor Mailing Address
689	8736429380	CUSTOM ON-SITE BUILDERS INC		210 E 12TH ST, LOVELAND, CO, 80537-4779
690	8736429381	JOINERY BUILDING GROUP LLC		3340 ROOKERY RD, FORT COLLINS, CO, 80528-9472
691	8601128006	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
692	8601128007	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
693	8601128008	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
694	8601128009	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
695	8601129003	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
696	8601129004	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
697	8601129005	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
698	8601129006	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
699	8724435004	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
700	8724435005	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
701	8724435006	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
702	8724436001	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
703	8724436002	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
704	8724436003	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
705	8724437001	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
706	8724437002	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
707	8724437003	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
708	8724453901	TOWN OF TIMNATH		4800 GOODMAN ST, TIMNATH, CO, 80547
709	8601129007	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
710	8601129008	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
711	8601130006	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
712	8601130007	TIMNATH RANCH LLC		8020 S COUNTY ROAD 5 UNIT 200, WINDSOR, CO, 80528-8994
713	8724435003	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
714	8724454003	WW DEVELOPMENT LLC		1218 W ASH ST STE A, WINDSOR, CO, 80550
715	8724455005	WW DEVELOPMENT LLC		1218 W ASH ST STE A, WINDSOR, CO, 80550
716	8724455006	WW DEVELOPMENT LLC		4801 GOODMAN ST, TIMNATH, CO, 80547
717	8724440002	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
718	8725115006	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
719	8725116009	WW DEVELOPMENT LLC		4801 GOODMAN ST, TIMNATH, CO, 80547
720	8725116010	WW DEVELOPMENT LLC		4801 GOODMAN ST, TIMNATH, CO, 80547
721	8725115001	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
722	8725115002	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
723	8725115003	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
724	8725115004	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
725	8725115005	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
726	8724440003	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
727	8724440004	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
728	8724440005	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
729	8724440006	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
730	8724441001	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
731	8724441002	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788

TABLE 3

Parcel Information within the Larimer County TWP Corridor

Map ID	Parcel Number	Property Owner	C/O	Assessor Mailing Address
732	8724441003	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
733	8724441004	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
734	9823407003	GLICK SCOTT A/MARGARET B		3750 S BAR G LN, FORT COLLINS, CO, 80524-2040
735	8725400001	SCHREPEL INC		3309 S COUNTY ROAD 1, WINDSOR, CO, 80550-2503
736	8724434002	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
737	8724435001	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
738	8724435002	CALATLANTIC GROUP INC		6161 S SYRACUSE WAY STE 200, GREENWOOD VILLAGE, CO, 80111-4788
739	8736425356	JONES BRIAN MATTHEW		4089 RIDGELINE DR, TIMNATH, CO, 80547-2359
740	8736425357	KINLEY INVESTMENTS LLC		600 S SAINT VRAIN AVE, ESTES PARK, CO, 80517
741	8736425358	HOUTS DEVELOPMENT AND CONSTRUCTION LLC		3721 PRECISION DR UNIT 314, FORT COLLINS, CO, 80528
742	8736425359	WHITTINGTON WESTON W/ERIN M		4053 RIDGELINE DR, TIMNATH, CO, 80547-2359
743	8736425360	SMIKAHL CHAD A		4041 RIDGELINE DR, TIMNATH, CO, 80547
744	8736425361	MCWILLIAMS RYAN R/JENNIFER A		4029 RIDGELINE DR, TIMNATH, CO, 80547-2359
745	8736425362	MUNN SHAWN/MELANIE		4017 RIDGELINE DR, TIMNATH, CO, 80547
746	8736425363	JONES DOUGLAS	JONES SUSAN S	4005 RIDGELINE DR, TIMNATH, CO, 80547-2358
747	8736425364	SIGG BROTHERS HOMES LLC		421 21ST AVE STE 205, LONGMONT, CO, 80501
748	8736426365	SERAFIN CHRISTIAN E/JANE E		3981 RIDGELINE DR, TIMNATH, CO, 80547
749	8736422316	AYERS BRENT D/KRISTIN E		3982 RIDGELINE DR, TIMNATH, CO, 80547
750	8736422317	STONEFIELD HOLDINGS LLC		6578 ROOKERY RD, FORT COLLINS, CO, 80528
751	8736427001	HARMONY LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
752	8736422318	FILHO WESLEY MENDONCA BATISTA		4006 RIDGELINE DR, TIMNATH, CO, 80547
753	8736422319	HOUTS DEVELOPMENT AND CONSTRUCTION LLC		3721 PRECISION DR UNIT 314, FORT COLLINS, CO, 80528
754	8736422320	STONEBROOK CUSTOM HOMES		6390 GARDENIA ST STE 240, ARVADA, CO, 80004-3537
755	8736422321	JACKSON RANDY L/ELAINE T		4042 RIDGELINE DR, TIMNATH, CO, 80547
756	8736422322	PEARSON SCOTT C/JOAN K		5151 BOARDWALK DR UNIT C3, FORT COLLINS, CO, 80525
757	8736422323	COLLINS DONALD MAX	BACHRACH MARGARET	4066 RIDGELINE DR, TIMNATH, CO, 80547-0000
758	8736422324	ARNOLD JACOB/BROOK		4078 RIDGELINE DR, TIMNATH, CO, 80547
759	8736422325	WOOD DAVID L/CAROL B		4090 RIDGELINE DR, TIMNATH, CO, 80547
760	8736422326	MISMALOYA LLC		PO BOX 270578, FORT COLLINS, CO, 80527
761	8736422327	POULSEN D CRIAG/KRISTENE H		4114 RIDGELINE DR, TIMNATH, CO, 80547
762	8736427003	HARMONY LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
763	8736428001	HARMONY LLC		6432 GRAND TREE BLVD, TIMNATH, CO, 80547-2339
764	8736421308	FLINT RANDALL J/LISA BETH		3886 RIDGELINE DR, TIMNATH, CO, 80547
765	8736421309	HENRY JUSTIN M	SCOTT JULIE A	3898 RIDGELINE DR, TIMNATH, CO, 80547
766	8736421310	CARLSON KENNETH H/KATHRYN M		3910 RIDGELINE DR, TIMNATH, CO, 80547
767	8736421311	HOWTON JAMES A/ANDREA L		3922 RIDGELINE DR, TIMNATH, CO, 80547-2357
768	8736421312	STONEFIELD HOLDINGS LLC		6578 ROOKERY RD, FORT COLLINS, CO, 80528
769	8736421313	STYACICH ROBERT J/AMY M		6720 AUBURN HILLS DR, WINDSOR, CO, 80550
770	8736421314	RAMOS SISTERS LLC		605 S COLLEGE AVE, FORT COLLINS, CO, 80524
771	8736421315	LUNG DAVID A/HOLLY J		3970 RIDGELINE DR, TIMNATH, CO, 80547-2357
772	8819410701	DAVIES MOBILE PARK LLC		1505 TEAKWOOD CT, FORT COLLINS, CO, 80525
773	8819410702	ZEBRA RANCH LLC		1505 TEAKWOOD CT, FORT COLLINS, CO, 80525-1954
774	8701100022	DYE TERENCE W		1137 N COUNTY ROAD 1, FORT COLLINS, CO, 80524-9312

TABLE 3

Parcel Information within the Larimer County TWP Corridor

Map ID	Parcel Number	Property Owner	C/O	Assessor Mailing Address
776	8817406702	GEARHEARD VIVIAN P/RICHARD L		4810 FOX RIDGE CT, FORT COLLINS, CO, 80524-2681
777	8817406703	MCCHESNEY MICHAEL T IRREVOCABLE TRUST		5013 N COUNTY ROAD 9, FORT COLLINS, CO, 80524-9435
778	8817407701	FOX GLADE OWNERS ASSOCIATION		4810 FOX RIDGE CT, FORT COLLINS, CO, 80524
779	8501105701	BINGER RICHARD G/PATRICIA A		9057 E CROSSROADS BLVD, LOVELAND, CO, 80538-8955
780	8817400001	FOLOT REUBEN/LENORA HOMESTEAD LLC		5032 N COUNTY ROAD 11, FORT COLLINS, CO, 80524
781	8612173902	SOUTH TIMNATH METROPOLITAN DISTRICT NO 1		6000 SUMMERFIELDS PKWY, TIMNATH, CO, 80547
782	NO DATA AVAILABLE			

Section 4 Site Inventory Maps

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 4.

- 4.a** The applicant must identify all resources and environmental conditions potentially impacted by the proposed development. The inventory must include the following features on the site and within one half mile of the boundaries of the project perimeter (1,000 feet for linear facilities). If access to adjacent land is not possible the inventory may be completed by using map resources available in the Planning Department. The inventory may include a narrative explanation and/or maps depicting the location of the features. The site inventory may be integrated with the Project Description to give a complete picture of the proposal. The title of the project must appear on each map sheet. If an aerial photo is being used, indicate the date of the photography.

Site inventory maps identify resources and environmental conditions potentially impacted by the TWP. As discussed during the Pre-Application Conference with Larimer County Planning staff on May 26, 2016, a site inventory is not required beyond the TWP corridor. However, Thornton included an additional study buffer at most locations that includes a 500-foot buffer from the TWP corridor for the water pipeline and a 1,200-foot buffer around the TWP corridor near the water tank and source water pump station locations. Additional study buffer was not evaluated in areas where environmental impacts are expected to be minor, that is, where the water pipeline is proposed to be located in the Larimer County Douglas Road ROW or on Thornton-owned property near Douglas Road where ground-disturbing activities already take place; that information is provided in **Appendix C**.

The aerial imagery utilized in the creation of the site inventory maps is from multiple sources; the three main sources are Denver Regional Council of Governments (DRCOG) 2016, Microsoft Bing Imagery 2011, and National Agricultural Imagery Program (NAIP) 2015. The information shown in these maps is the best available data downloaded from Larimer County's website and other local agencies. Each figure lists its source information.

The Site Inventory Map(s) may be required to contain the following information:

- 4.b** Existing buildings, structures, utilities (water transmission lines and sewer collection lines), easements and other features including irrigation facilities, fences, roads, etc.;

Figure 4.b shows the best available data for existing utility corridors, which includes gas, electrical, telecommunications, water, and sanitary sewer utilities. Oil and gas wells are also shown. Subsurface utility engineering will be completed during the design and construction phases of the TWP and will include surface geophysical methods and test holes to determine the locations of existing utilities. Thornton has communicated with local utility providers to begin coordination activities as shown in **Appendix E** - Stakeholder Outreach Communications.

Other existing infrastructure such as buildings, other structures, irrigation facilities, and roads are shown on the Vicinity Maps in Section 3. Infrastructure information is shown on separate maps to enhance legibility.

- 4.c** Location of all residences, any abutting subdivision outlines and names, and the boundaries of any adjacent municipality or Growth Management Area.

The location of residences, subdivision outlines and names, and the boundaries of adjacent municipality and Growth Management Areas are shown on the Vicinity Maps in Section 3.

- 4.d** Existing vegetation, soil types for SCS Soil Survey, water bodies, and other natural features; **Figures 4.d-1** through **4.d-11** show soil types with the Soil Conservation Service (SCS) soil type, water bodies, and other natural features. Existing vegetation information within the TWP corridor and

study buffer can be found in the Natural and Cultural Resources Assessment Report and Addendum to the Natural and Cultural Resources Assessment in **Appendix C**. Vegetation figures (**Figures 4.1** through **4.55** and **Figure Addendum-3**) can be found in the reports.

4.e Officially designated 100 year flood plains with Flood Way and Flood Fringe clearly shown;

Figure 4.e shows the officially designated 100-year floodplains within the TWP corridor. The 100-year floodplain and floodway were identified using Federal Emergency Management Agency's (FEMA) Flood Insurance Rate Maps (FIRM). The flood fringe is identified as those areas within the floodplain but outside the floodway. Additional information can be found in Section 8.f, Floodplain Hydraulic/ Hydrologic Modeling Report.

4.f Geologic Hazards rated 3 through 7 with location and classification shown, including areas with expansive soils and other moderate hazards;

Figure 4.f-1 shows geological hazards with rating and classifications. Additional information can be found in Section 8.c, Natural Hazard Mitigation Plan.

Figures 4.f-2 through **4.f-12** shows the Natural Resources Conservation Service (NRCS) soil erodibility K factor values. K factor values represent the susceptibility of soil erosion, transportability of the sediment, and the amount and rate of runoff given a particular rainfall event. The majority of the TWP corridor is located within the low-to-medium soil erodibility range. Additional information can be found in Section 8.e, Drainage and Erosion Control Report and Plan.

4.g Wetlands – area of wetlands (See Section 8.2)

Open waters, wetlands, and riparian areas within the TWP corridor and study buffer are described in the Natural and Cultural Resources Assessment Report and Addendum to the Natural and Cultural Resources Assessment in **Appendix C**. **Figures 4.1** through **4.55** and **Figure Addendum-3** show these areas in the reports.

4.h Drainage patterns and general direction of flows on and through the site;

Figure 4.h shows drainage patterns and the general direction of flows in the TWP corridor. Additional information can be found in Section 8.e, Drainage and Erosion Control Report and Plan.

4.i Topography with a contour interval sufficient to evaluate the proposal but no greater than 40-foot intervals. Contours must be labeled every 5 to 7 inches and every 5th contour line clearly shown by a heavier line. Areas of 20% or greater slope must be clearly shown by shading or other means;

Figures 4.i-1 through **4.i-5** shows the topography of the TWP corridor with 10-foot contour intervals and areas of 20 percent or greater slope.

4.j Wildlife habitat and migration corridors with a description of the ways wildlife use the site and the species involved, with proposed setbacks or other potential mitigation measures;

Wildlife habitat and migration corridors within the TWP corridor and study buffer with description of the ways that wildlife use the site and the species involved, with proposed setback and other potential mitigation measures, can be found in the Natural and Cultural Resources Assessment Report and Addendum to the Natural and Cultural Resources Assessment in **Appendix C**. Wildlife figures (**Figure 3, Figures 5.1 through 5.55, Figure 6, Figure 7, and Figure Addendum-3**) can be found in that report.

4.k Habitat for rare and endangered plants with species clearly indicated;

Information on habitat for rare and endangered plants, and specifically the species within the TWP corridor and study buffer, can be found in the Natural and Cultural Resources Assessment Report in **Appendix C**.

4.l Wildfire Hazards with location and classification shown;

Figure 4.l shows wildfire hazards with location and classification in the area surrounding the TWP corridor. The TWP corridor is located outside of wildfire hazard areas. Additional information can be found in Section 8.c, Natural Hazard Mitigation Plan.

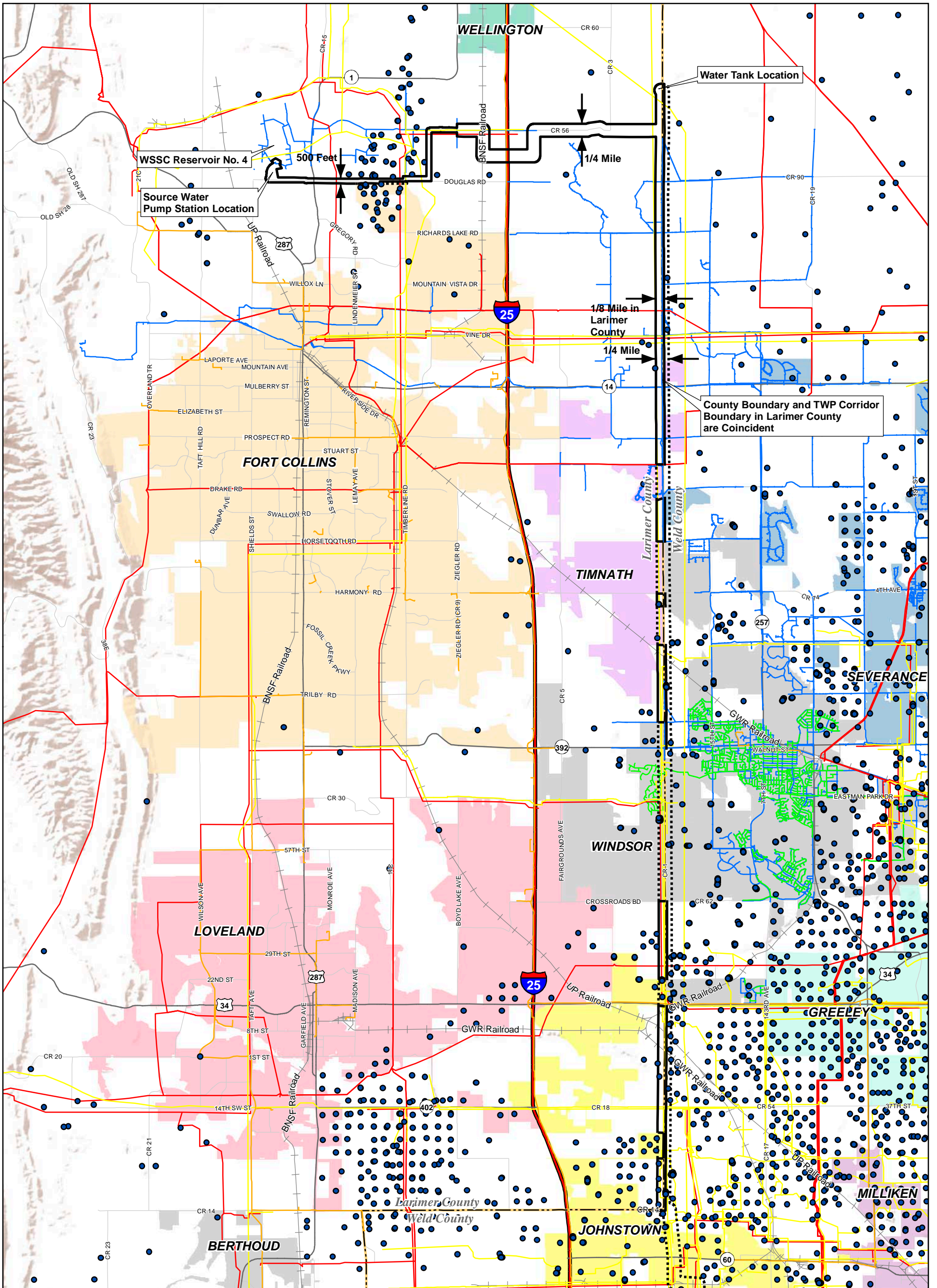
4.m Sites and structures listed on the State and National Register of Historic Places;


No cultural sites and structures listed on the State and National Register of Historic Places are located within the TWP corridor. Additional information can be found in the Natural and Cultural Resources Assessment Report and Addendum to the Natural and Cultural Resources Assessment in **Appendix C**. Figures showing the Office of Archaeology and Historic Preservation search results (**Figures 8.1 through 8.23**) can be found in that report.

4.n Commercial Mineral Deposits with the type of mineral deposit indicated along with estimates of the quantity and quality of the mineral and the amount of overburden present.

Commercial mineral deposits are not present within the TWP corridor. **Figure 4.n** shows locations of commercial mineral mines, active hard rock mines, sand and gravel construction mines, and other mines from the Division of Reclamation Mining and Safety. One active sand and gravel construction pit is shown on **Figure 4.n** within unincorporated Larimer County.

Thornton Water Project






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0 0.9 1.8
Miles

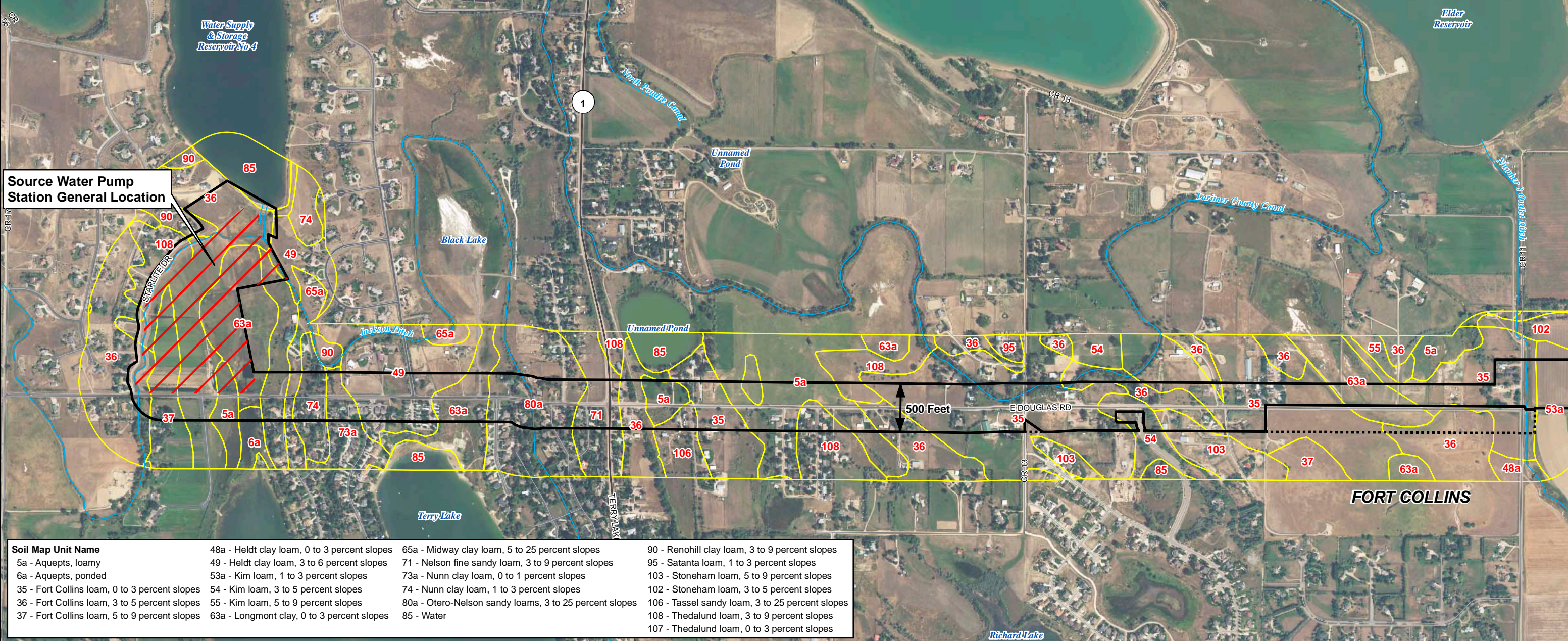
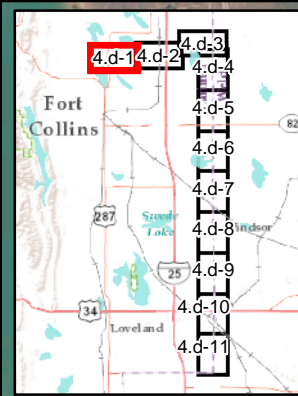
1 in = 1.8 miles

TWP Corridor in Unincorporated Larimer County	Electrical Transmission Line
TWP Corridor outside Unincorporated Larimer County	Telecommunications Line
County Boundary	Gas Line
Railroad	Water Pipeline
Oil and Gas Wells	Sanitary Sewer Line

**Figure 4.b
Existing Utility
Corridors**

Sources: Larimer and Weld Counties, CDOT, Xcel, Tri-State Power, Town of Windsor, Northern Colorado Water Conservancy District, NWCWD, ELCO Water District, Zayo

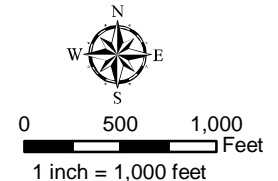
Thornton Water Project



Source Water Pump Station General Location

Soil Map Unit Name	48a - Heldt clay loam, 0 to 3 percent slopes	65a - Midway clay loam, 5 to 25 percent slopes	90 - Renohill clay loam, 3 to 9 percent slopes
5a - Aquepts, loamy	49 - Heldt clay loam, 3 to 6 percent slopes	71 - Nelson fine sandy loam, 3 to 9 percent slopes	95 - Satanta loam, 1 to 3 percent slopes
6a - Aquepts, ponded	53a - Kim loam, 1 to 3 percent slopes	73a - Nunn clay loam, 0 to 1 percent slopes	103 - Stoneham loam, 5 to 9 percent slopes
35 - Fort Collins loam, 0 to 3 percent slopes	54 - Kim loam, 3 to 5 percent slopes	74 - Nunn clay loam, 1 to 3 percent slopes	102 - Stoneham loam, 3 to 5 percent slopes
36 - Fort Collins loam, 3 to 5 percent slopes	55 - Kim loam, 5 to 9 percent slopes	80a - Otero-Nelson sandy loams, 3 to 25 percent slopes	106 - Tassel sandy loam, 3 to 25 percent slopes
37 - Fort Collins loam, 5 to 9 percent slopes	63a - Longmont clay, 0 to 3 percent slopes	85 - Water	108 - Thedalund loam, 3 to 9 percent slopes
			107 - Thedalund loam, 0 to 3 percent slopes

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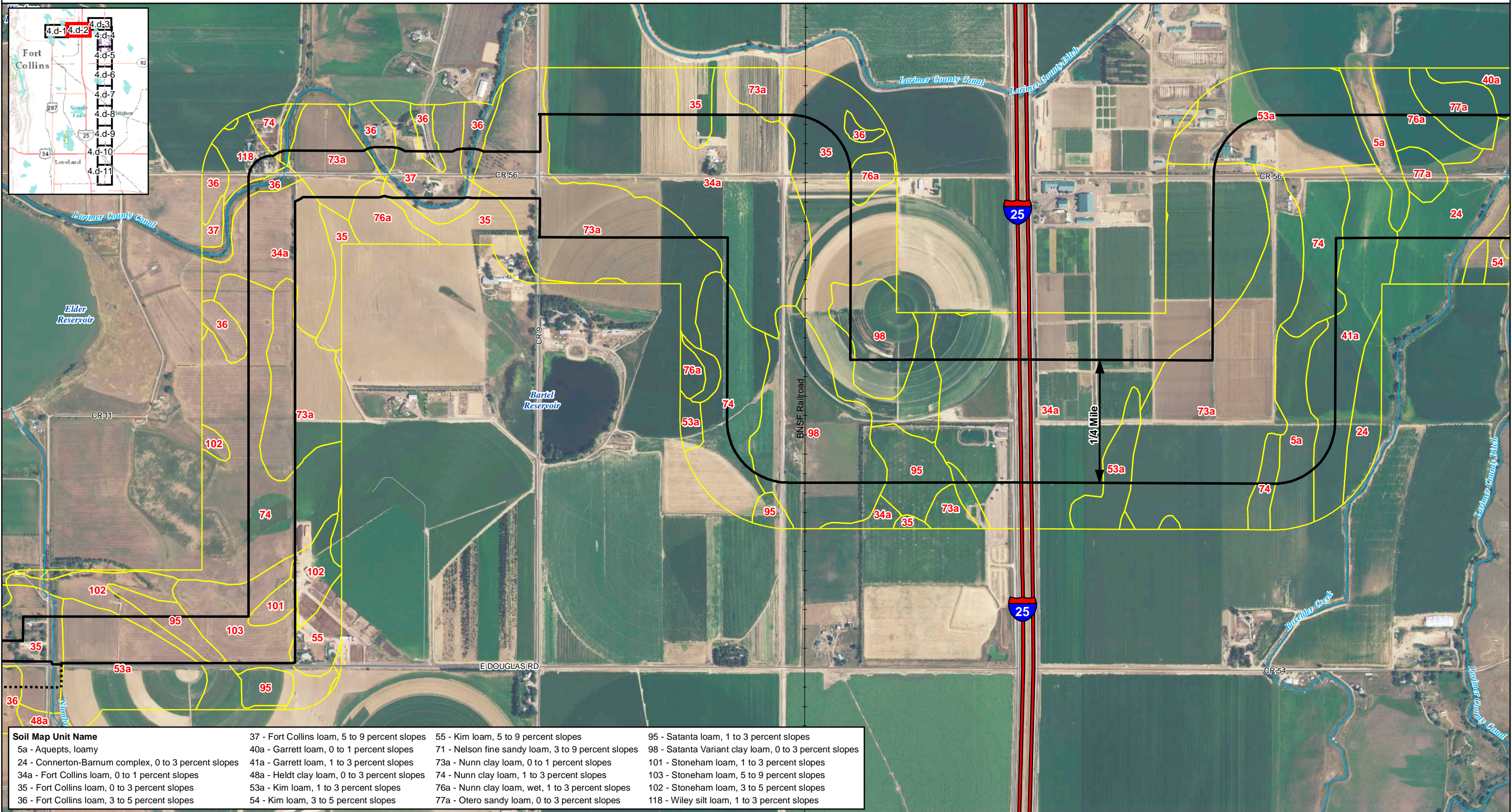
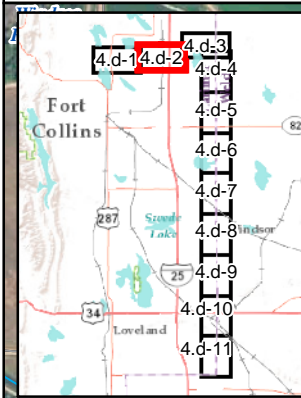


- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- *Source Water Pump Station General Location
- Water Tank General Location
- Soil Map Unit
- Soil Map Unit Number

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

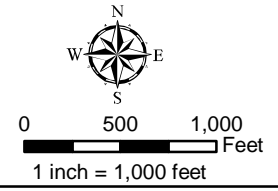
Figure 4.d-1 Soil Map

Thornton Water Project



Soil Map Unit Name	Soil Map Unit Name	Soil Map Unit Name	Soil Map Unit Name
5a - Aquepts, loamy	37 - Fort Collins loam, 5 to 9 percent slopes	55 - Kim loam, 5 to 9 percent slopes	95 - Satanta loam, 1 to 3 percent slopes
24 - Connerton-Barnum complex, 0 to 3 percent slopes	40a - Garrett loam, 0 to 1 percent slopes	71 - Nelson fine sandy loam, 3 to 9 percent slopes	98 - Satanta Variant clay loam, 0 to 3 percent slopes
34a - Fort Collins loam, 0 to 1 percent slopes	41a - Garrett loam, 1 to 3 percent slopes	73a - Nunn clay loam, 0 to 1 percent slopes	101 - Stoneham loam, 1 to 3 percent slopes
35 - Fort Collins loam, 0 to 3 percent slopes	48a - Heldt clay loam, 0 to 3 percent slopes	74 - Nunn clay loam, 1 to 3 percent slopes	103 - Stoneham loam, 5 to 9 percent slopes
36 - Fort Collins loam, 3 to 5 percent slopes	53a - Kim loam, 1 to 3 percent slopes	76a - Nunn clay loam, wet, 1 to 3 percent slopes	102 - Stoneham loam, 3 to 5 percent slopes
	54 - Kim loam, 3 to 5 percent slopes	77a - Otero sandy loam, 0 to 3 percent slopes	118 - Wiley silt loam, 1 to 3 percent slopes

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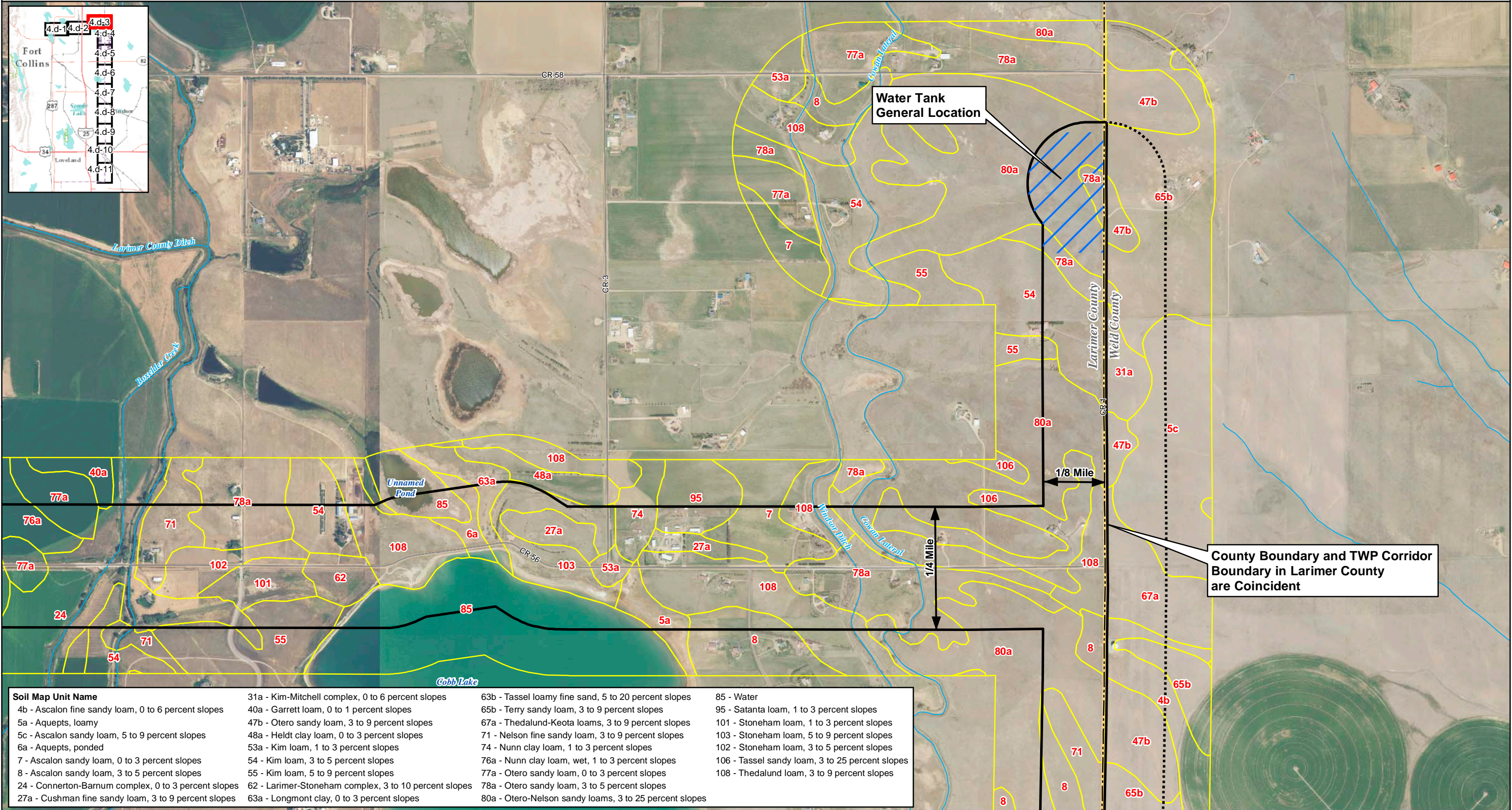


- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- *Source Water Pump Station General Location
- Water Tank General Location
- Soil Map Unit
- Soil Map Unit Number

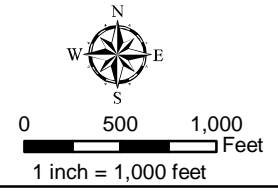
* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Figure 4.d-2 Soil Map

Thornton Water Project



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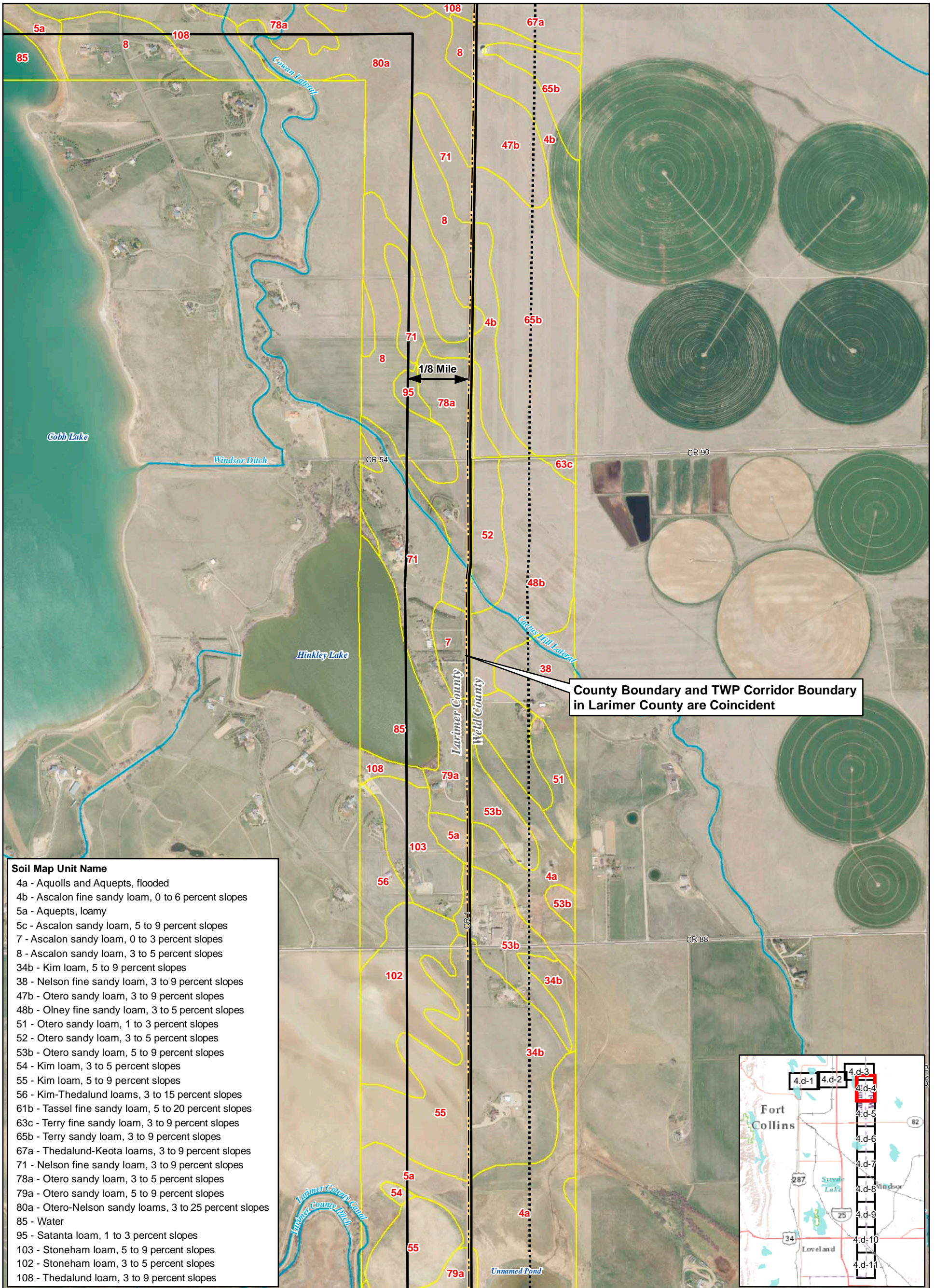


- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- *Source Water Pump Station General Location
- Water Tank General Location
- Soil Map Unit
- Soil Map Unit Number

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

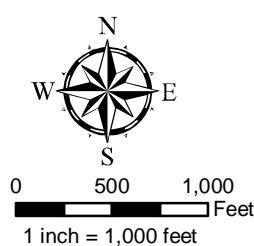
Figure 4.d-3
Soil Map

Thornton Water Project



Soil Map Unit Name
4a - Aquolls and Aquepts, flooded
4b - Ascalon fine sandy loam, 0 to 6 percent slopes
5a - Aquepts, loamy
5c - Ascalon sandy loam, 5 to 9 percent slopes
7 - Ascalon sandy loam, 0 to 3 percent slopes
8 - Ascalon sandy loam, 3 to 5 percent slopes
34b - Kim loam, 5 to 9 percent slopes
38 - Nelson fine sandy loam, 3 to 9 percent slopes
47b - Otero sandy loam, 3 to 9 percent slopes
48b - Olney fine sandy loam, 3 to 5 percent slopes
51 - Otero sandy loam, 1 to 3 percent slopes
52 - Otero sandy loam, 3 to 5 percent slopes
53b - Otero sandy loam, 5 to 9 percent slopes
54 - Kim loam, 3 to 5 percent slopes
55 - Kim loam, 5 to 9 percent slopes
56 - Kim-Thedalund loams, 3 to 15 percent slopes
61b - Tassel fine sandy loam, 5 to 20 percent slopes
63c - Terry fine sandy loam, 3 to 9 percent slopes
65b - Terry sandy loam, 3 to 9 percent slopes
67a - Thedalund-Keota loams, 3 to 9 percent slopes
71 - Nelson fine sandy loam, 3 to 9 percent slopes
78a - Otero sandy loam, 3 to 5 percent slopes
79a - Otero sandy loam, 5 to 9 percent slopes
80a - Otero-Nelson sandy loams, 3 to 25 percent slopes
85 - Water
95 - Satanta loam, 1 to 3 percent slopes
103 - Stoneham loam, 5 to 9 percent slopes
102 - Stoneham loam, 3 to 5 percent slopes
108 - Thedalund loam, 3 to 9 percent slopes

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- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- *Source Water Pump Station General Location
- Water Tank General Location
- Soil Map Unit
- 36 Soil Map Unit Number

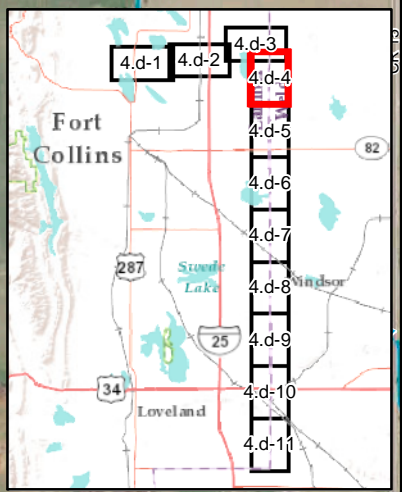
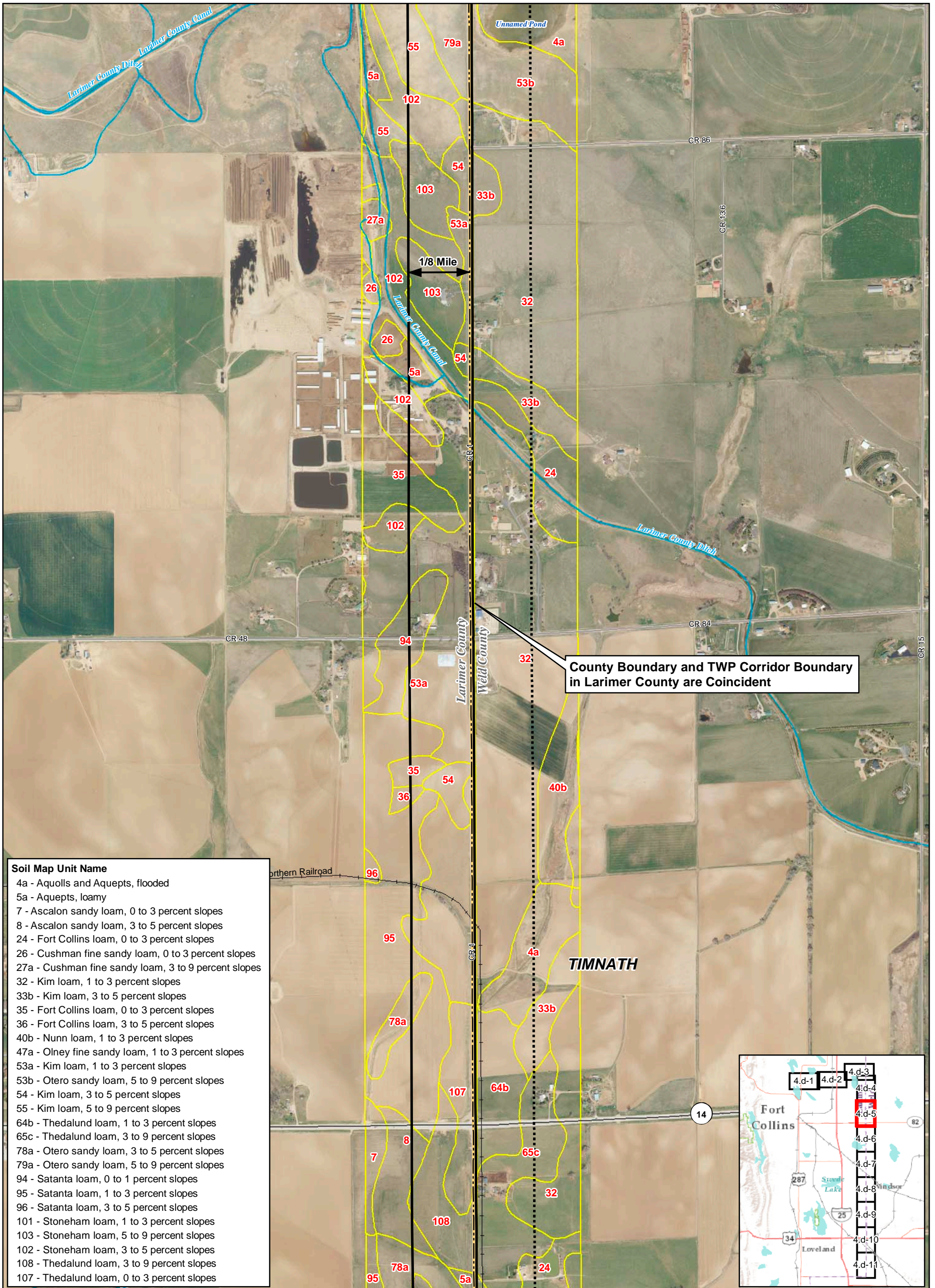


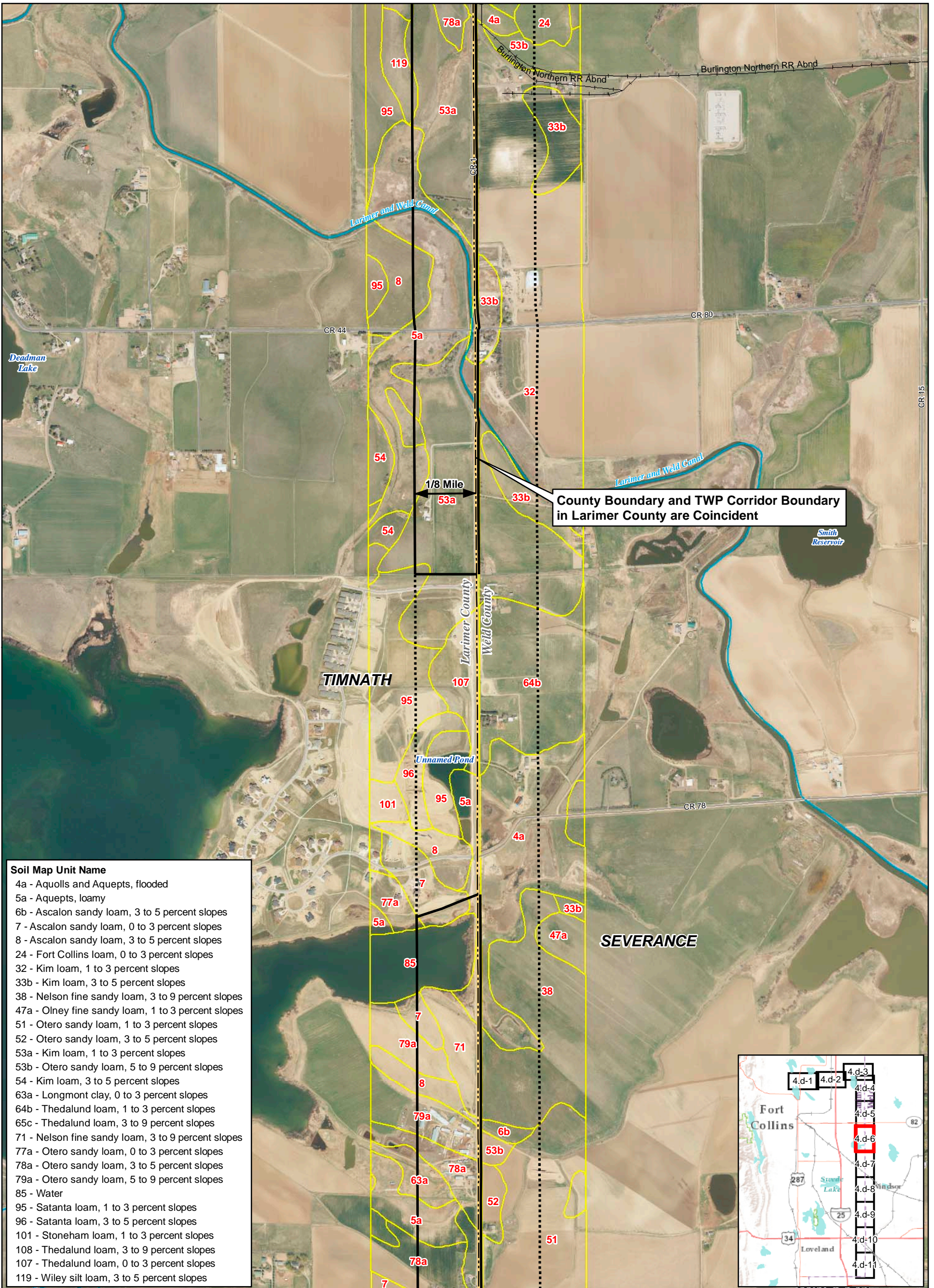
Figure 4.d-4 Soil Map

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

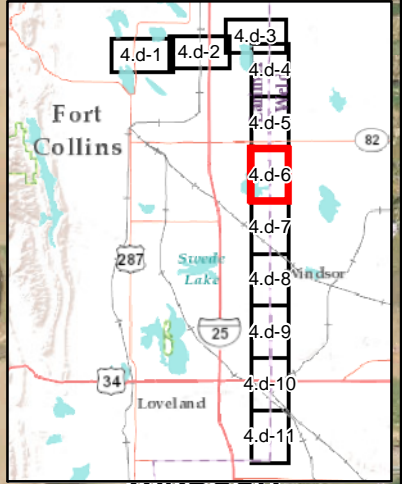
Thornton Water Project




Thornton Water Project



Soil Map Unit Name
4a - Aquolls and Aquepts, flooded
5a - Aquepts, loamy
6b - Ascalon sandy loam, 3 to 5 percent slopes
7 - Ascalon sandy loam, 0 to 3 percent slopes
8 - Ascalon sandy loam, 3 to 5 percent slopes
24 - Fort Collins loam, 0 to 3 percent slopes
32 - Kim loam, 1 to 3 percent slopes
33b - Kim loam, 3 to 5 percent slopes
38 - Nelson fine sandy loam, 3 to 9 percent slopes
47a - Olney fine sandy loam, 1 to 3 percent slopes
51 - Otero sandy loam, 1 to 3 percent slopes
52 - Otero sandy loam, 3 to 5 percent slopes
53a - Kim loam, 1 to 3 percent slopes
53b - Otero sandy loam, 5 to 9 percent slopes
54 - Kim loam, 3 to 5 percent slopes
63a - Longmont clay, 0 to 3 percent slopes
64b - Thedalund loam, 1 to 3 percent slopes
65c - Thedalund loam, 3 to 9 percent slopes
71 - Nelson fine sandy loam, 3 to 9 percent slopes
77a - Otero sandy loam, 0 to 3 percent slopes
78a - Otero sandy loam, 3 to 5 percent slopes
79a - Otero sandy loam, 5 to 9 percent slopes
85 - Water
95 - Satanta loam, 1 to 3 percent slopes
96 - Satanta loam, 3 to 5 percent slopes
101 - Stoneham loam, 1 to 3 percent slopes
108 - Thedalund loam, 3 to 9 percent slopes
107 - Thedalund loam, 0 to 3 percent slopes
119 - Wiley silt loam, 3 to 5 percent slopes




**Figure 4.d-6
Soil Map**



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12/29/2017



0 500 1,000
Feet

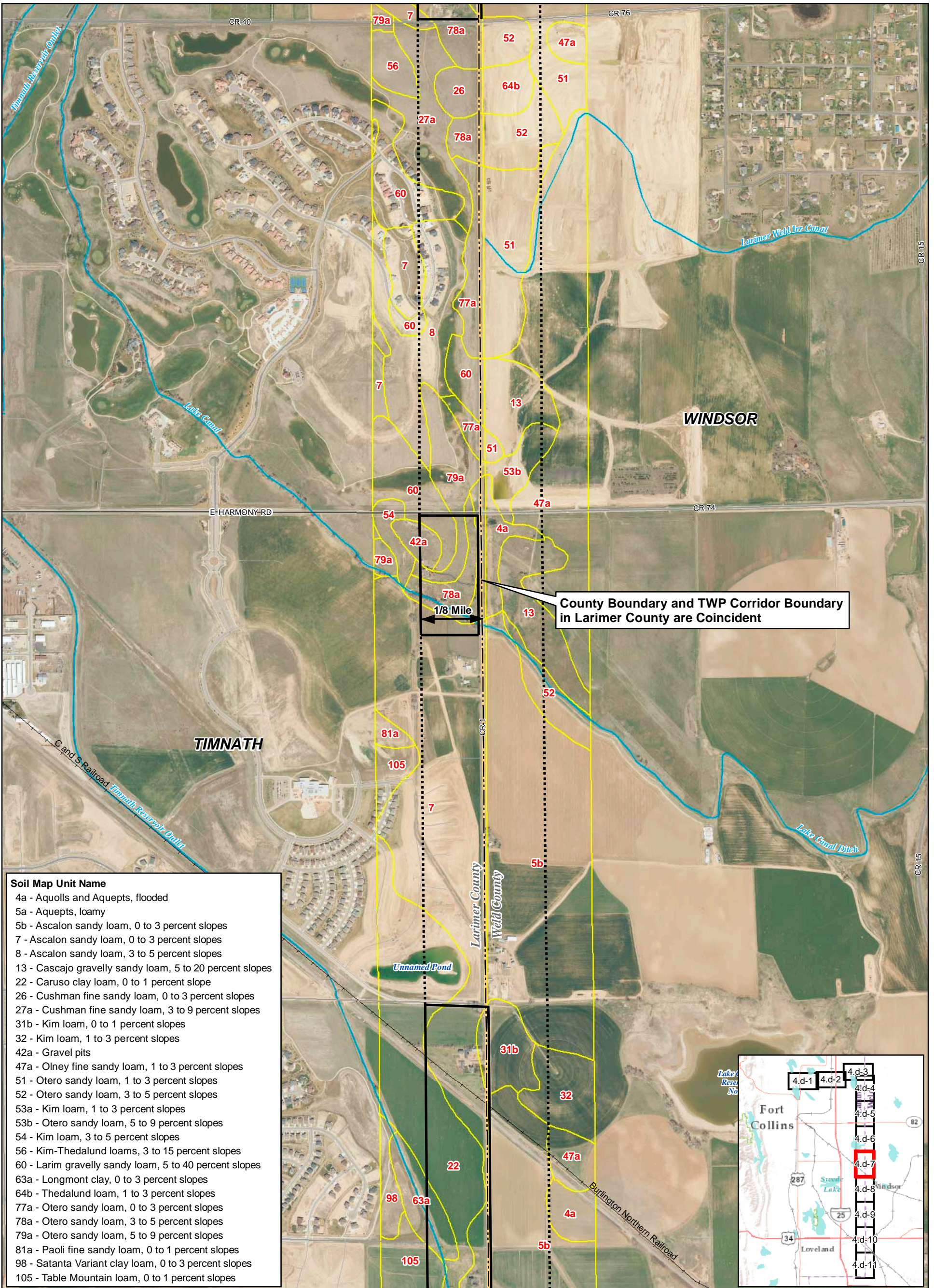
1 inch = 1,000 feet

- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- * Source Water Pump Station General Location
- / Water Tank General Location
- Soil Map Unit
- 36 Soil Map Unit Number

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, NRCS, DRCOG, NAIP

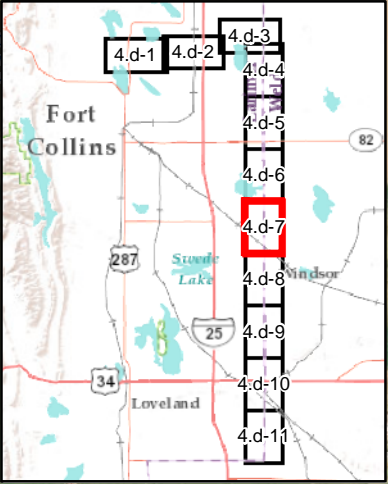
Thornton Water Project



County Boundary and TWP Corridor Boundary in Larimer County are Coincident

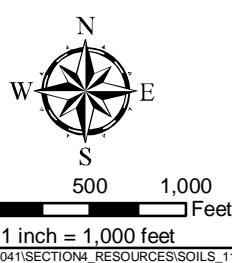
1/8 Mile

Soil Map Unit Name
4a - Aquolls and Aquepts, flooded
5a - Aquepts, loamy
5b - Ascalon sandy loam, 0 to 3 percent slopes
7 - Ascalon sandy loam, 0 to 3 percent slopes
8 - Ascalon sandy loam, 3 to 5 percent slopes
13 - Cascajo gravelly sandy loam, 5 to 20 percent slopes
22 - Caruso clay loam, 0 to 1 percent slope
26 - Cushman fine sandy loam, 0 to 3 percent slopes
27a - Cushman fine sandy loam, 3 to 9 percent slopes
31b - Kim loam, 0 to 1 percent slopes
32 - Kim loam, 1 to 3 percent slopes
42a - Gravel pits
47a - Olney fine sandy loam, 1 to 3 percent slopes
51 - Otero sandy loam, 1 to 3 percent slopes
52 - Otero sandy loam, 3 to 5 percent slopes
53a - Kim loam, 1 to 3 percent slopes
53b - Otero sandy loam, 5 to 9 percent slopes
54 - Kim loam, 3 to 5 percent slopes
56 - Kim-Thedalund loams, 3 to 15 percent slopes
60 - Larim gravelly sandy loam, 5 to 40 percent slopes
63a - Longmont clay, 0 to 3 percent slopes
64b - Thedalund loam, 1 to 3 percent slopes
77a - Otero sandy loam, 0 to 3 percent slopes
78a - Otero sandy loam, 3 to 5 percent slopes
79a - Otero sandy loam, 5 to 9 percent slopes
81a - Paoli fine sandy loam, 0 to 1 percent slopes
98 - Satanta Variant clay loam, 0 to 3 percent slopes
105 - Table Mountain loam, 0 to 1 percent slopes



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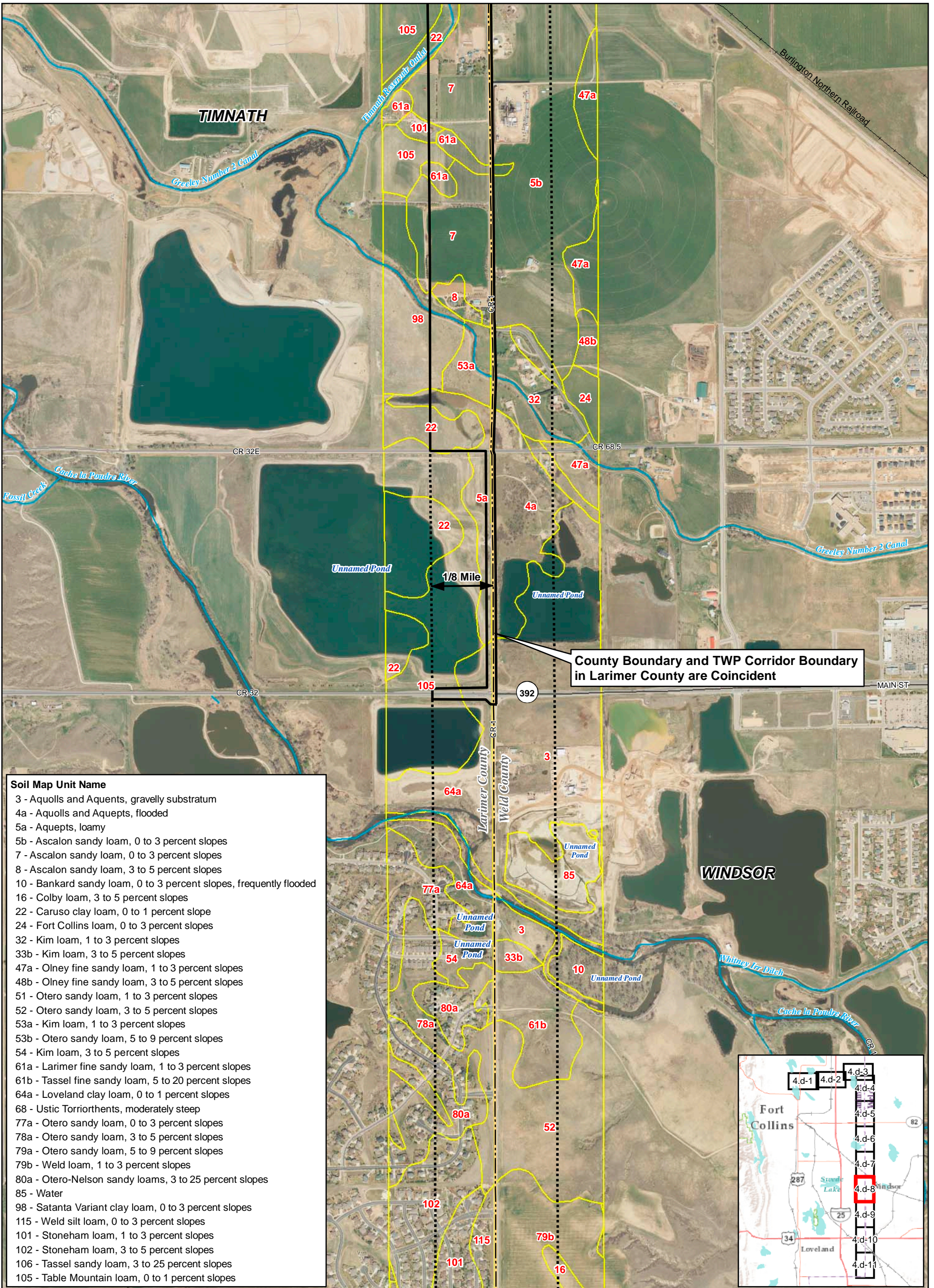


- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- *Source Water Pump Station General Location
- Water Tank General Location
- Soil Map Unit
- 36 Soil Map Unit Number

Figure 4.d-7 Soil Map

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Thornton Water Project



Soil Map Unit Name

- 3 - Aquolls and Aquepts, gravelly substratum
- 4a - Aquolls and Aquepts, flooded
- 5a - Aquepts, loamy
- 5b - Ascalon sandy loam, 0 to 3 percent slopes
- 7 - Ascalon sandy loam, 0 to 3 percent slopes
- 8 - Ascalon sandy loam, 3 to 5 percent slopes
- 10 - Bankard sandy loam, 0 to 3 percent slopes, frequently flooded
- 16 - Colby loam, 3 to 5 percent slopes
- 22 - Caruso clay loam, 0 to 1 percent slope
- 24 - Fort Collins loam, 0 to 3 percent slopes
- 32 - Kim loam, 1 to 3 percent slopes
- 33b - Kim loam, 3 to 5 percent slopes
- 47a - Olney fine sandy loam, 1 to 3 percent slopes
- 48b - Olney fine sandy loam, 3 to 5 percent slopes
- 51 - Otero sandy loam, 1 to 3 percent slopes
- 52 - Otero sandy loam, 3 to 5 percent slopes
- 53a - Kim loam, 1 to 3 percent slopes
- 53b - Otero sandy loam, 5 to 9 percent slopes
- 54 - Kim loam, 3 to 5 percent slopes
- 61a - Larimer fine sandy loam, 1 to 3 percent slopes
- 61b - Tassel fine sandy loam, 5 to 20 percent slopes
- 64a - Loveland clay loam, 0 to 1 percent slopes
- 68 - Ustic Torriorthents, moderately steep
- 77a - Otero sandy loam, 0 to 3 percent slopes
- 78a - Otero sandy loam, 3 to 5 percent slopes
- 79a - Otero sandy loam, 5 to 9 percent slopes
- 79b - Weld loam, 1 to 3 percent slopes
- 80a - Otero-Nelson sandy loams, 3 to 25 percent slopes
- 85 - Water
- 98 - Satanta Variant clay loam, 0 to 3 percent slopes
- 115 - Weld silt loam, 0 to 3 percent slopes
- 101 - Stoneham loam, 1 to 3 percent slopes
- 102 - Stoneham loam, 3 to 5 percent slopes
- 106 - Tassel sandy loam, 3 to 25 percent slopes
- 105 - Table Mountain loam, 0 to 1 percent slopes

CITY OF THORNTON COLORADO

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0 500 1,000 Feet

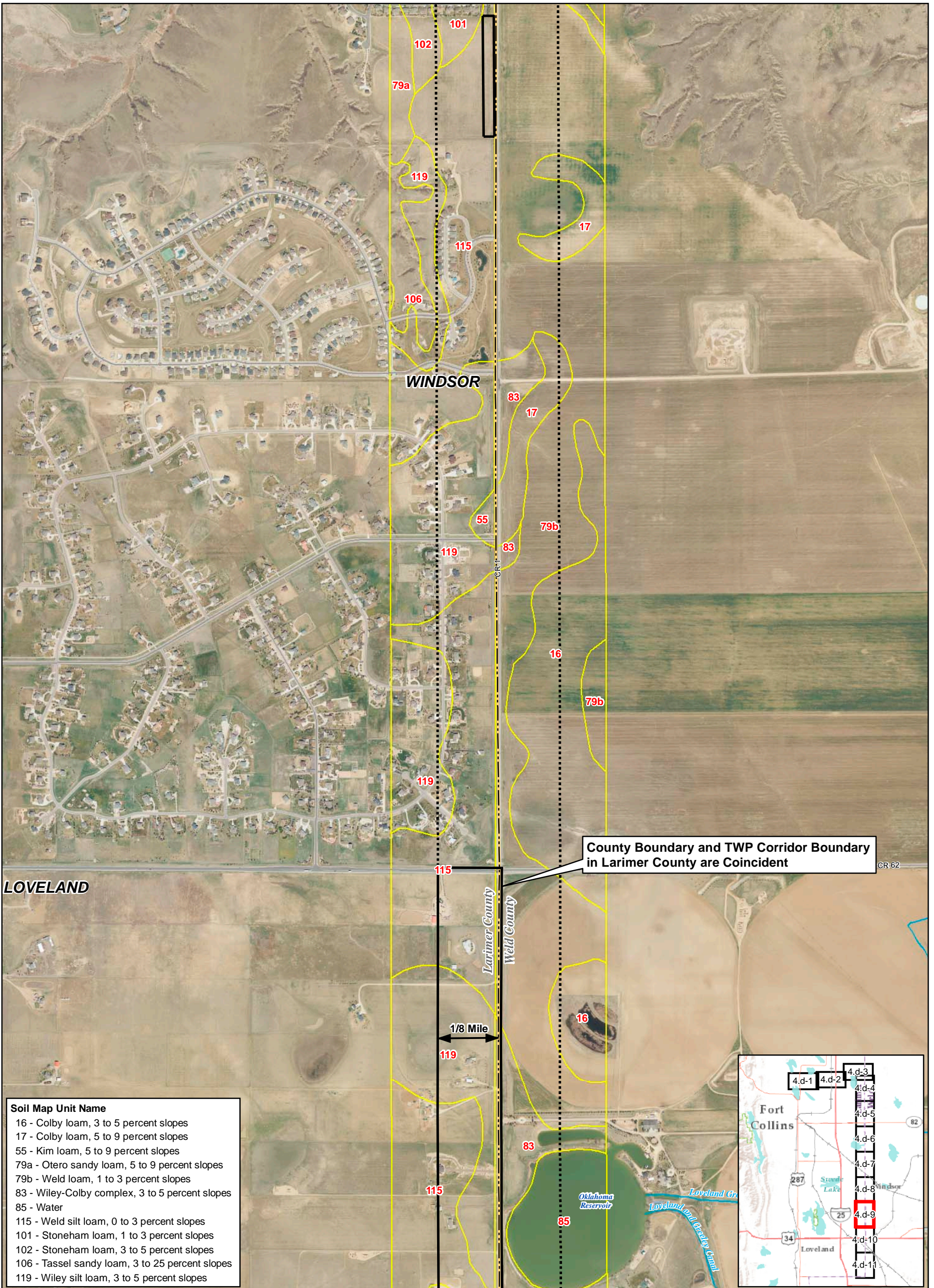
1 inch = 1,000 feet

- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- *Source Water Pump Station General Location
- Water Tank General Location
- Soil Map Unit
- 36 Soil Map Unit Number

Figure 4.d-8 Soil Map

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Thornton Water Project

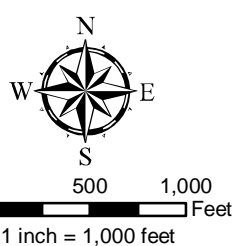


Soil Map Unit Name
16 - Colby loam, 3 to 5 percent slopes
17 - Colby loam, 5 to 9 percent slopes
55 - Kim loam, 5 to 9 percent slopes
79a - Otero sandy loam, 5 to 9 percent slopes
79b - Weld loam, 1 to 3 percent slopes
83 - Wiley-Colby complex, 3 to 5 percent slopes
85 - Water
115 - Weld silt loam, 0 to 3 percent slopes
101 - Stoneham loam, 1 to 3 percent slopes
102 - Stoneham loam, 3 to 5 percent slopes
106 - Tassel sandy loam, 3 to 25 percent slopes
119 - Wiley silt loam, 3 to 5 percent slopes

County Boundary and TWP Corridor Boundary in Larimer County are Coincident

1/8 Mile

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- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- *Source Water Pump Station General Location
- Water Tank General Location
- Soil Map Unit
- 36 Soil Map Unit Number

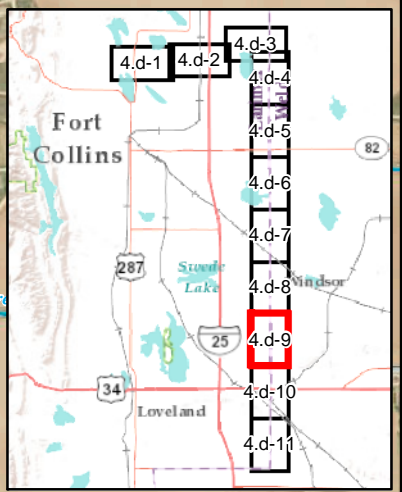
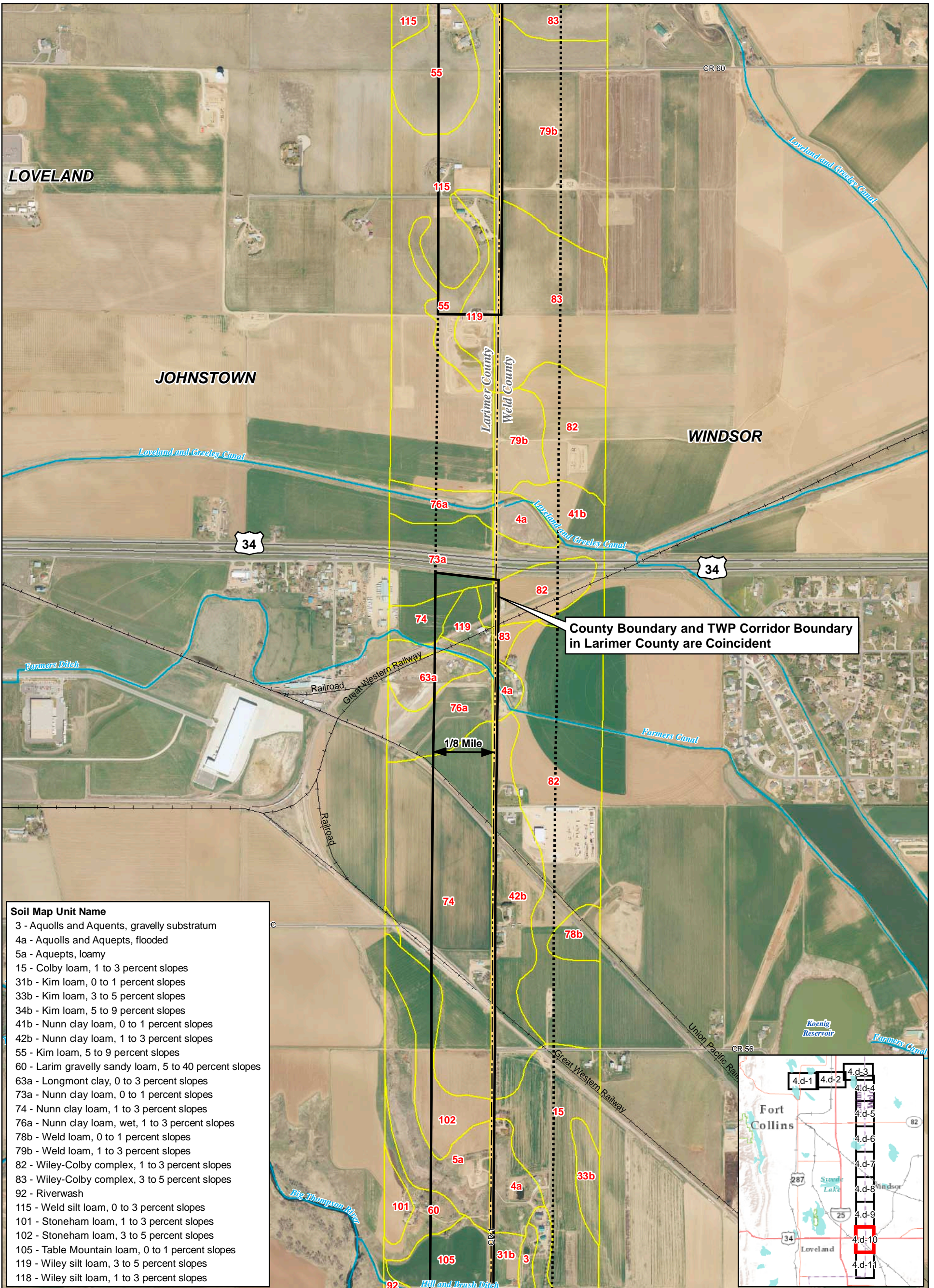


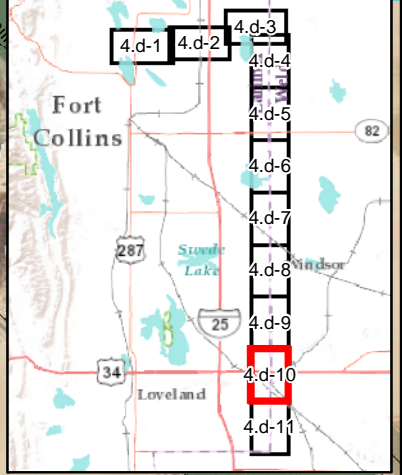
Figure 4.d-9 Soil Map


* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Thornton Water Project



Soil Map Unit Name
3 - Aquolls and Aquepts, gravelly substratum
4a - Aquolls and Aquepts, flooded
5a - Aquepts, loamy
15 - Colby loam, 1 to 3 percent slopes
31b - Kim loam, 0 to 1 percent slopes
33b - Kim loam, 3 to 5 percent slopes
34b - Kim loam, 5 to 9 percent slopes
41b - Nunn clay loam, 0 to 1 percent slopes
42b - Nunn clay loam, 1 to 3 percent slopes
55 - Kim loam, 5 to 9 percent slopes
60 - Larim gravelly sandy loam, 5 to 40 percent slopes
63a - Longmont clay, 0 to 3 percent slopes
73a - Nunn clay loam, 0 to 1 percent slopes
74 - Nunn clay loam, 1 to 3 percent slopes
76a - Nunn clay loam, wet, 1 to 3 percent slopes
78b - Weld loam, 0 to 1 percent slopes
79b - Weld loam, 1 to 3 percent slopes
82 - Wiley-Colby complex, 1 to 3 percent slopes
83 - Wiley-Colby complex, 3 to 5 percent slopes
92 - Riverwash
115 - Weld silt loam, 0 to 3 percent slopes
101 - Stoneham loam, 1 to 3 percent slopes
102 - Stoneham loam, 3 to 5 percent slopes
105 - Table Mountain loam, 0 to 1 percent slopes
119 - Wiley silt loam, 3 to 5 percent slopes
118 - Wiley silt loam, 1 to 3 percent slopes






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0 500 1,000
Feet

1 inch = 1,000 feet

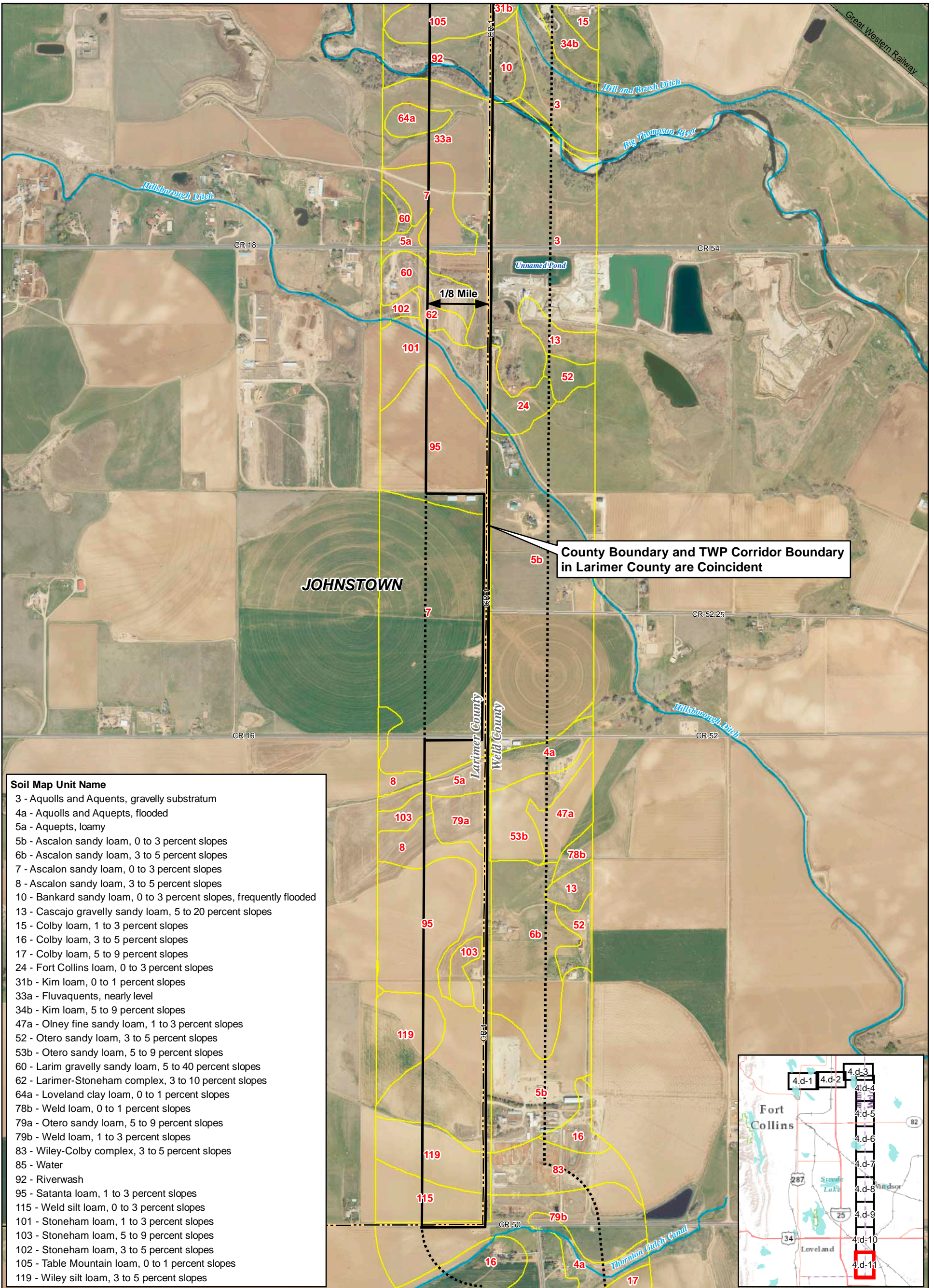
- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- *Source Water Pump Station General Location
- Water Tank General Location
- Soil Map Unit
- 36 Soil Map Unit Number

**Figure 4.d-10
Soil Map**

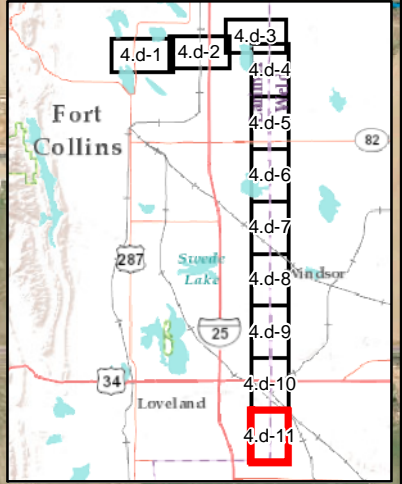
* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, NRCS, DRCOG, NAIP


Thornton Water Project



Soil Map Unit Name
3 - Aquolls and Aquepts, gravelly substratum
4a - Aquolls and Aquepts, flooded
5a - Aquepts, loamy
5b - Ascalon sandy loam, 0 to 3 percent slopes
6b - Ascalon sandy loam, 3 to 5 percent slopes
7 - Ascalon sandy loam, 0 to 3 percent slopes
8 - Ascalon sandy loam, 3 to 5 percent slopes
10 - Bankard sandy loam, 0 to 3 percent slopes, frequently flooded
13 - Cascajo gravelly sandy loam, 5 to 20 percent slopes
15 - Colby loam, 1 to 3 percent slopes
16 - Colby loam, 3 to 5 percent slopes
17 - Colby loam, 5 to 9 percent slopes
24 - Fort Collins loam, 0 to 3 percent slopes
31b - Kim loam, 0 to 1 percent slopes
33a - Fluvaquents, nearly level
34b - Kim loam, 5 to 9 percent slopes
47a - Olney fine sandy loam, 1 to 3 percent slopes
52 - Otero sandy loam, 3 to 5 percent slopes
53b - Otero sandy loam, 5 to 9 percent slopes
60 - Larim gravelly sandy loam, 5 to 40 percent slopes
62 - Larimer-Stoneham complex, 3 to 10 percent slopes
64a - Loveland clay loam, 0 to 1 percent slopes
78b - Weld loam, 0 to 1 percent slopes
79a - Otero sandy loam, 5 to 9 percent slopes
79b - Weld loam, 1 to 3 percent slopes
83 - Wiley-Colby complex, 3 to 5 percent slopes
85 - Water
92 - Riverwash
95 - Satanta loam, 1 to 3 percent slopes
115 - Weld silt loam, 0 to 3 percent slopes
101 - Stoneham loam, 1 to 3 percent slopes
103 - Stoneham loam, 5 to 9 percent slopes
102 - Stoneham loam, 3 to 5 percent slopes
105 - Table Mountain loam, 0 to 1 percent slopes
119 - Wiley silt loam, 3 to 5 percent slopes



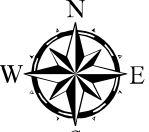
**Figure 4.d-11
Soil Map**



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0 500 1,000
Feet

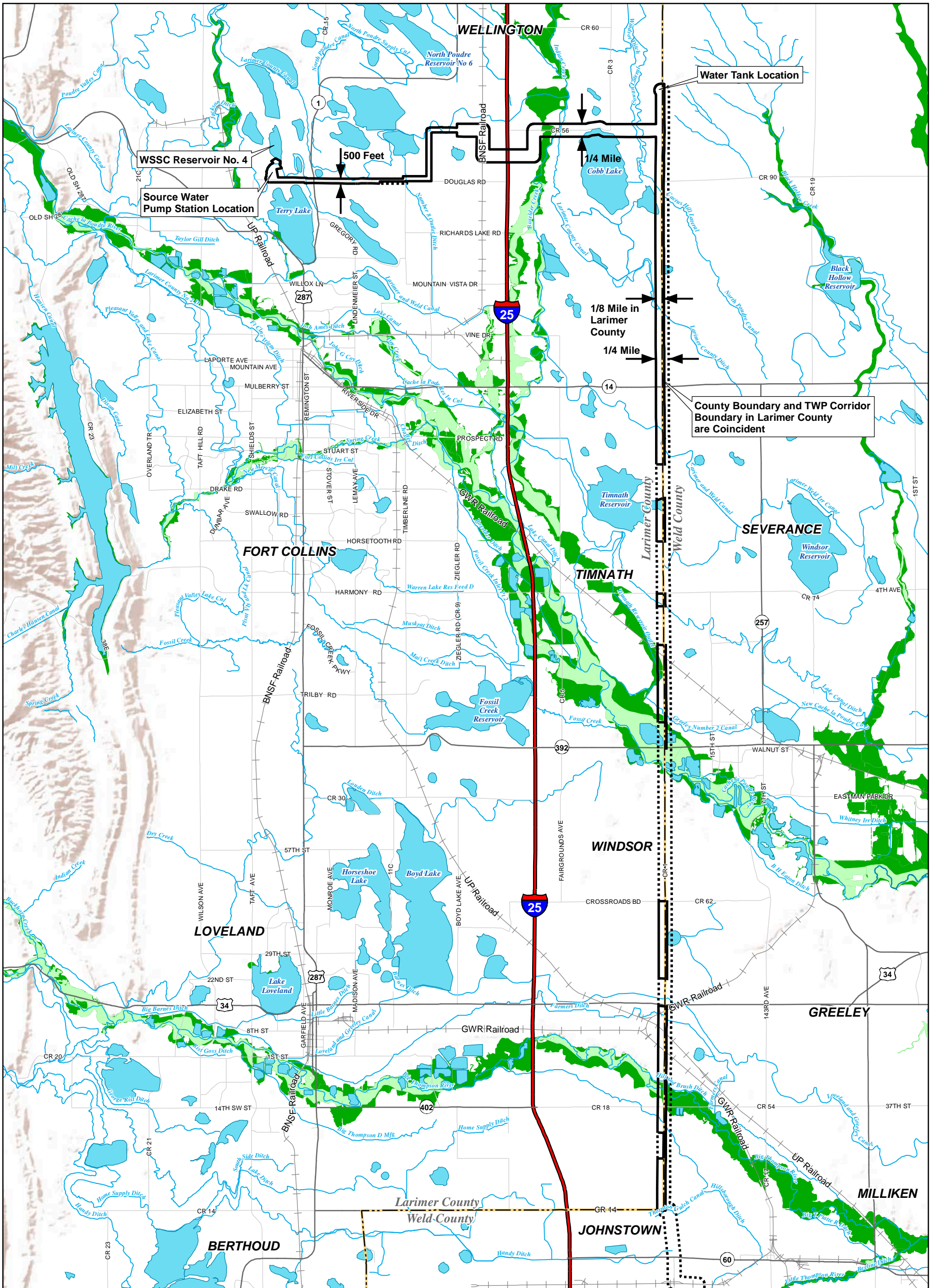
1 inch = 1,000 feet

- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- * Source Water Pump Station General Location
- / Water Tank General Location
- Soil Map Unit
- 36 Soil Map Unit Number

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, NRCS, DRCOG, NAIP

Thornton Water Project



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0 0.9 1.8
Miles

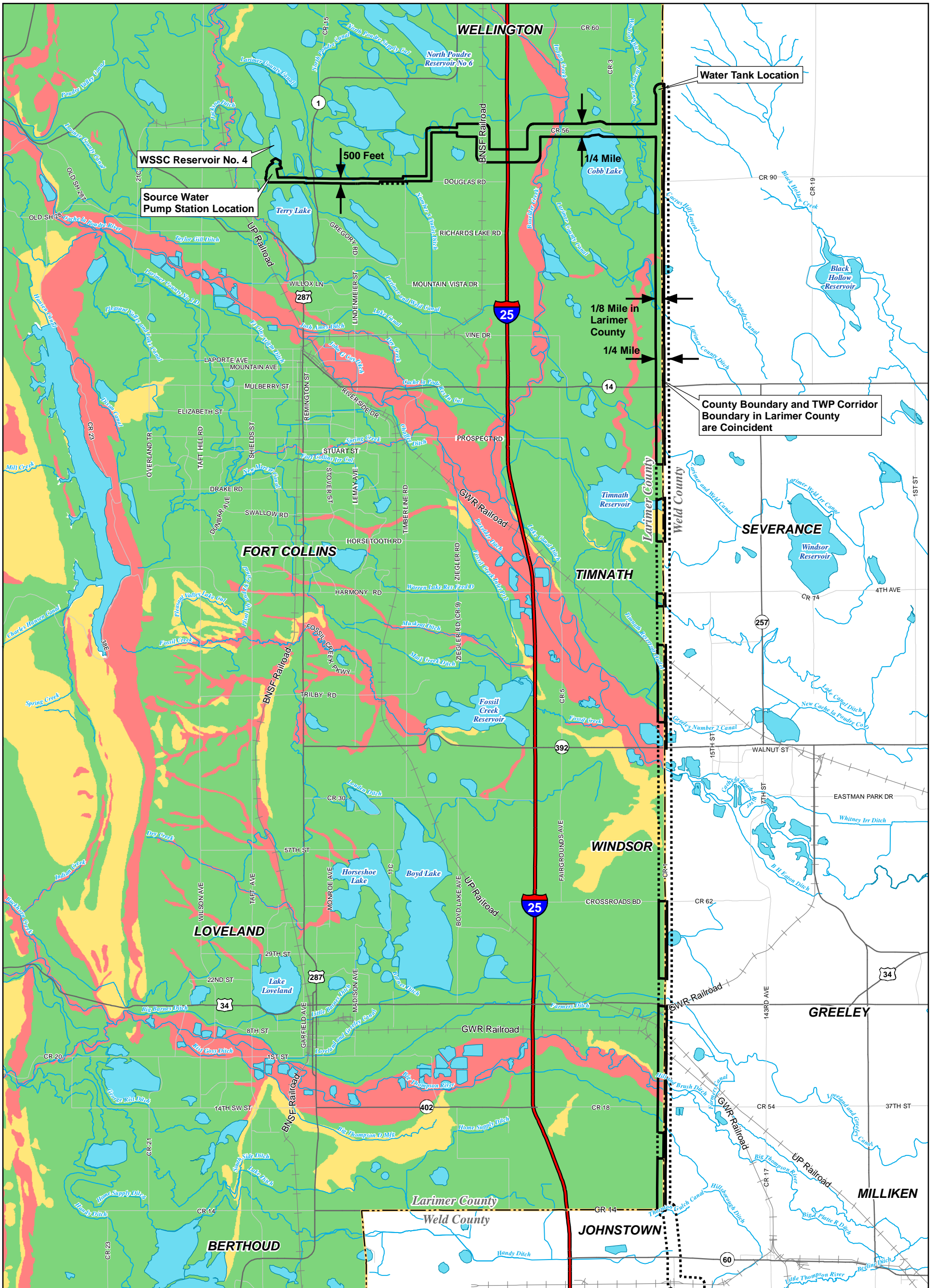
1 in = 1.8 miles


- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- Lake/Reservoir
- River/Stream/Canal/Ditch
- 100-yr Flood Fringe
- 100-yr Floodway

**Figure 4.e
100-yr Floodplain**

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, FEMA

Thornton Water Project






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0 0.9 1.8
Miles

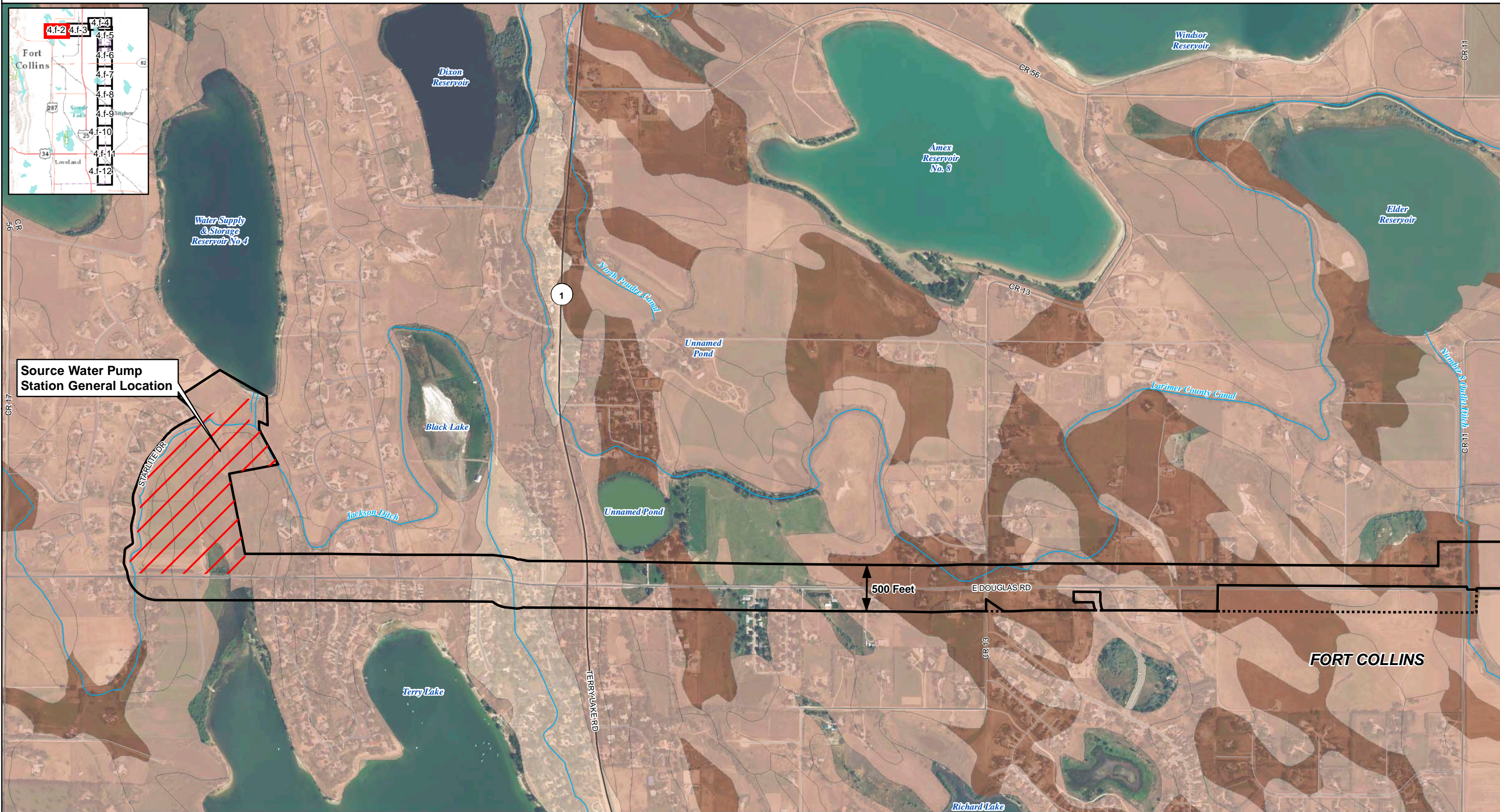
1 in = 1.8 miles

<ul style="list-style-type: none"> TWP Corridor in Unincorporated Larimer County TWP Corridor outside Unincorporated Larimer County County Boundary Railroad Lake/Reservoir River/Stream/Canal/Ditch 	<p>Geologic Hazard</p> <ul style="list-style-type: none"> Severe (Class 5, 6, 7) Moderate (Class 3, 4) Low
--	---

**Figure 4.f-1
Geologic Hazards**

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT

Thornton Water Project



Source Water Pump Station General Location

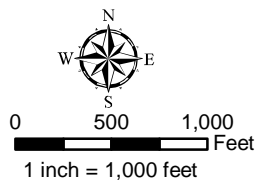
500 Feet

FORT COLLINS



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12/29/2017



- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad

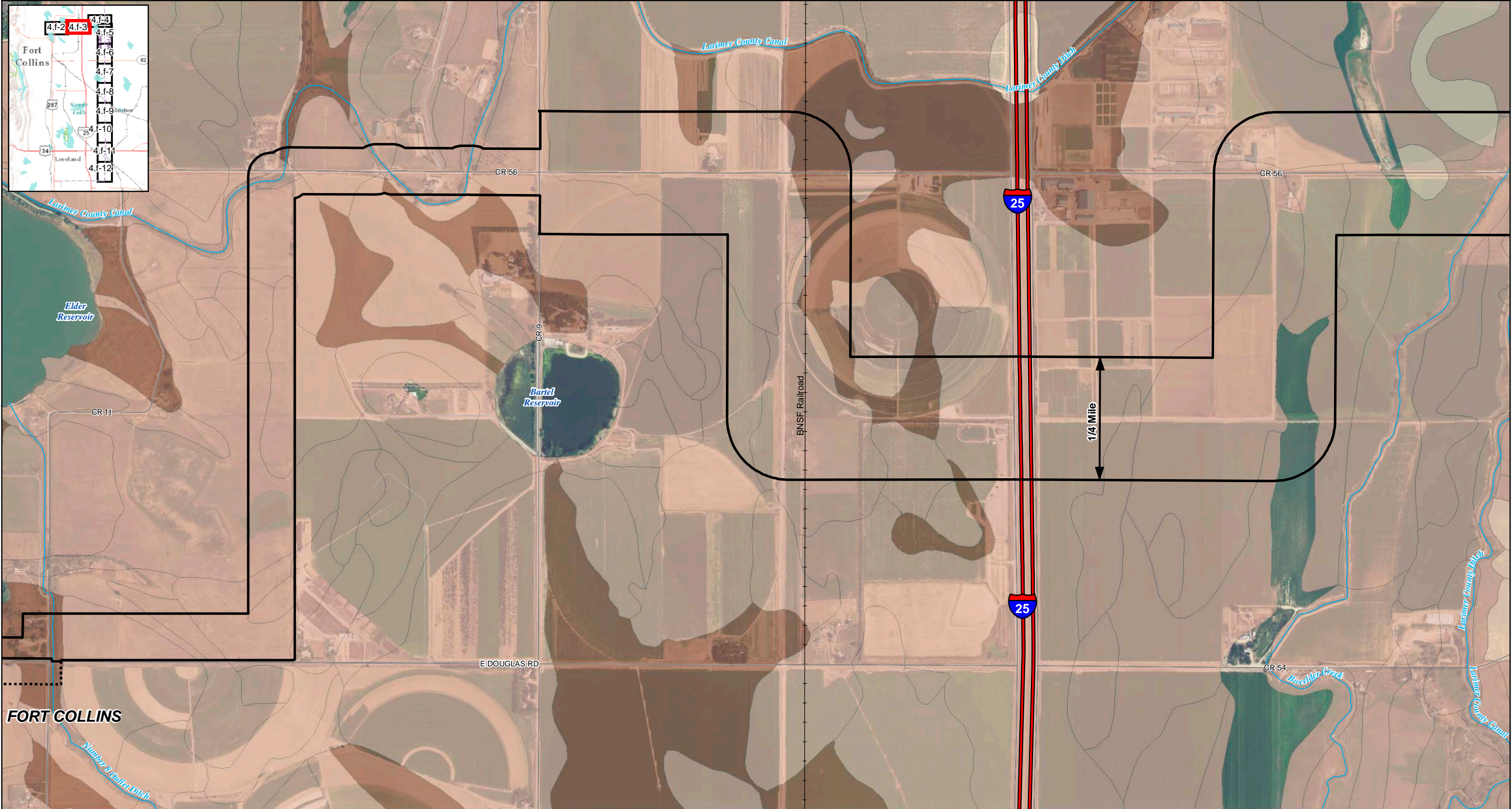
- River/Stream/Canal/Ditch
- *Source Water Pump Station General Location
- Water Tank General Location

- Soil Erodibility (K Factor)**
- No Value
 - Low (<0.20)
 - Medium (0.20 - 0.40)
 - High (>0.40)

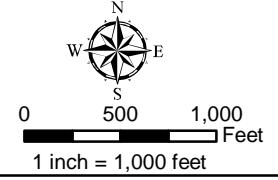
* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

**Figure 4.f-2
Soil Erodibility Map**

Thornton Water Project



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12/29/2017



- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- * Source Water Pump Station General Location
- . Water Tank General Location

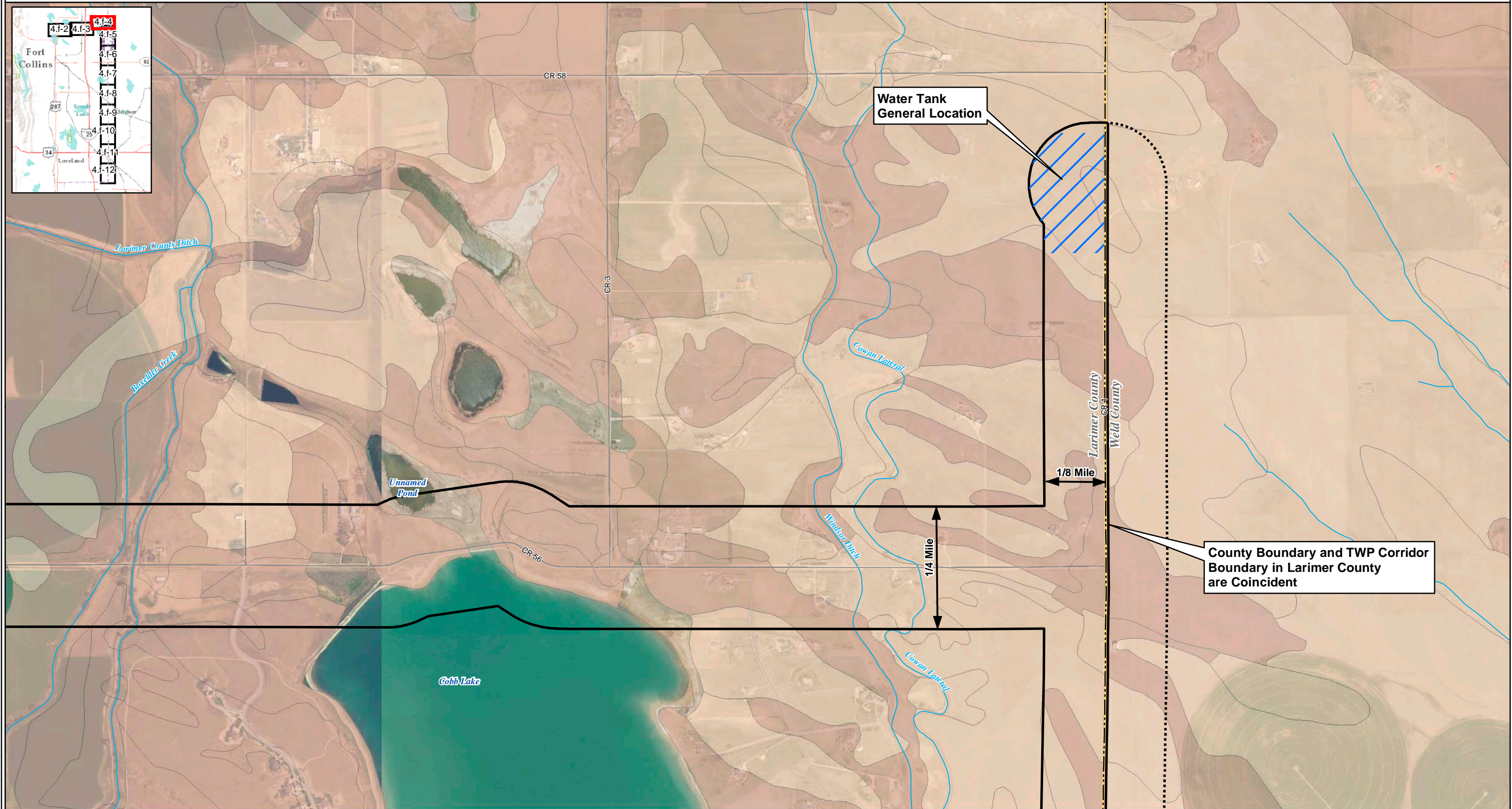
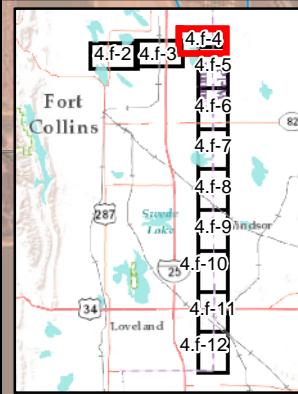
Soil Erodibility (K Factor)

No Value
Low (<0.20)
Medium (0.20 - 0.40)
High (>0.40)

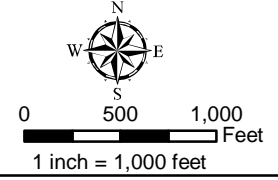
* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

**Figure 4.f-3
Soil Erodibility Map**

Thornton Water Project



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12450 WASHINGTON ST
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12/29/2017



- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- *Source Water Pump Station
- General Location
- Water Tank General Location

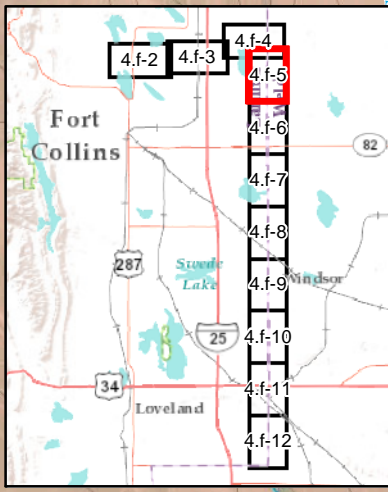
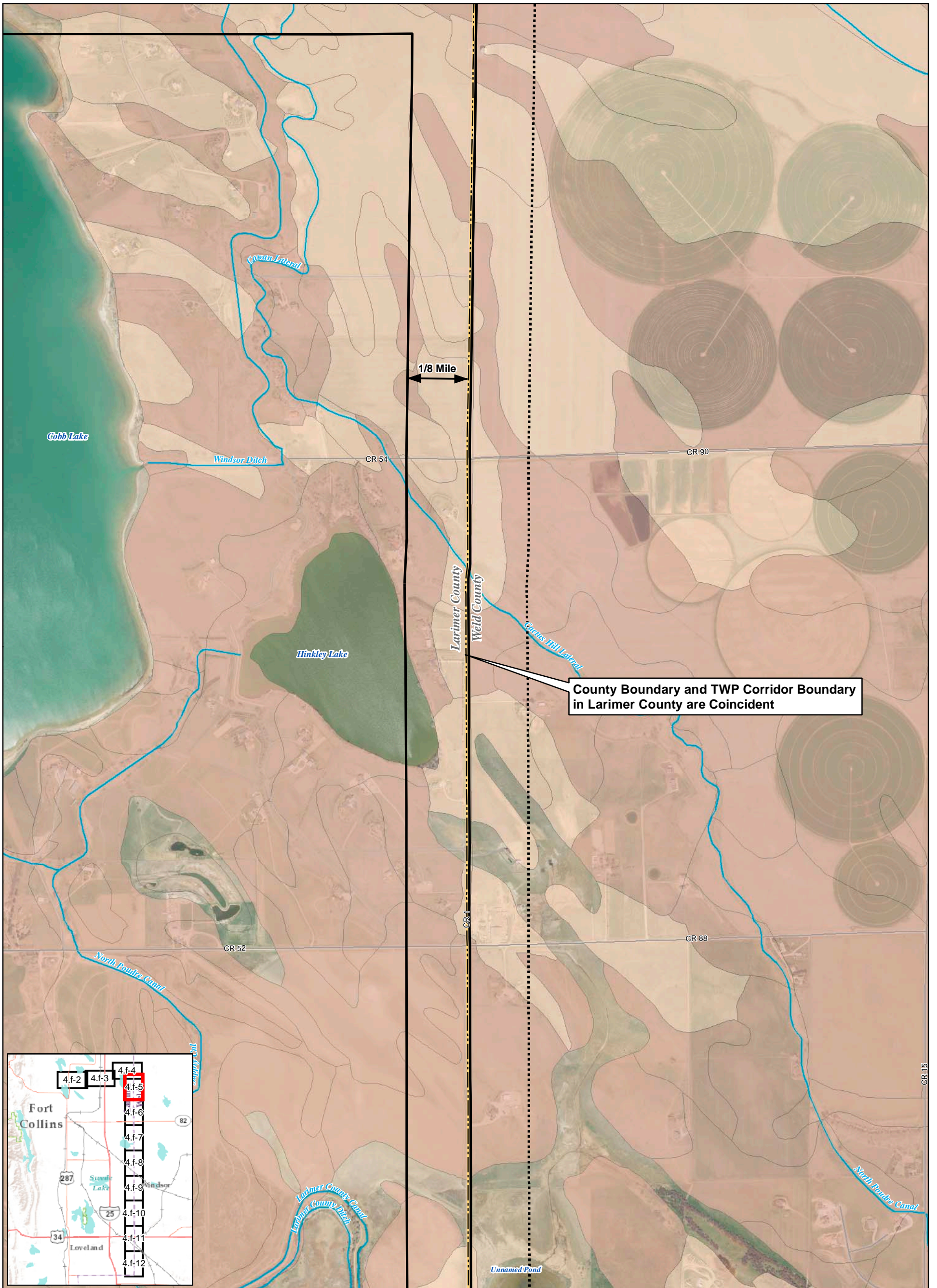
Soil Erodibility (K Factor)

	No Value
	Low (<0.20)
	Medium (0.20 - 0.40)
	High (>0.40)

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

**Figure 4.f-4
Soil Erodibility Map**

Thornton Water Project



County Boundary and TWP Corridor Boundary in Larimer County are Coincident

CITY OF THORNTON COLORADO
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0 500 1,000 Feet
1 inch = 1,000 feet

- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- *Source Water Pump Station General Location
- Water Tank General Location

Soil Erodibility (K Factor)

- No Value
- Low (<0.20)
- Medium (0.20 - 0.40)
- High (>0.40)

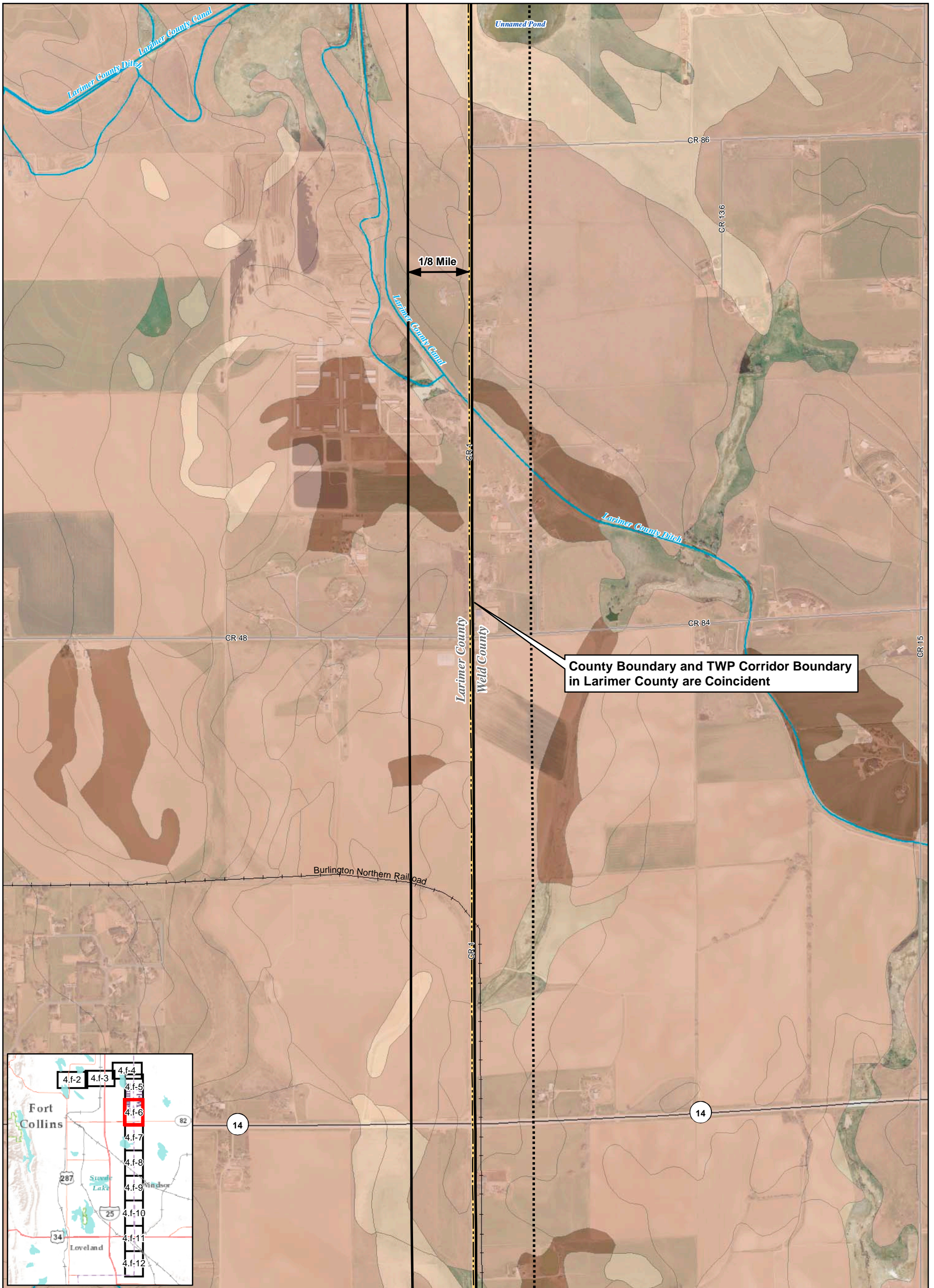
Figure 4.f-5 Soil Erodibility Map


* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

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4-21

Thornton Water Project






**CITY OF THORNTON
COLORADO**

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12/29/2017



0 500 1,000
Feet

1 inch = 1,000 feet

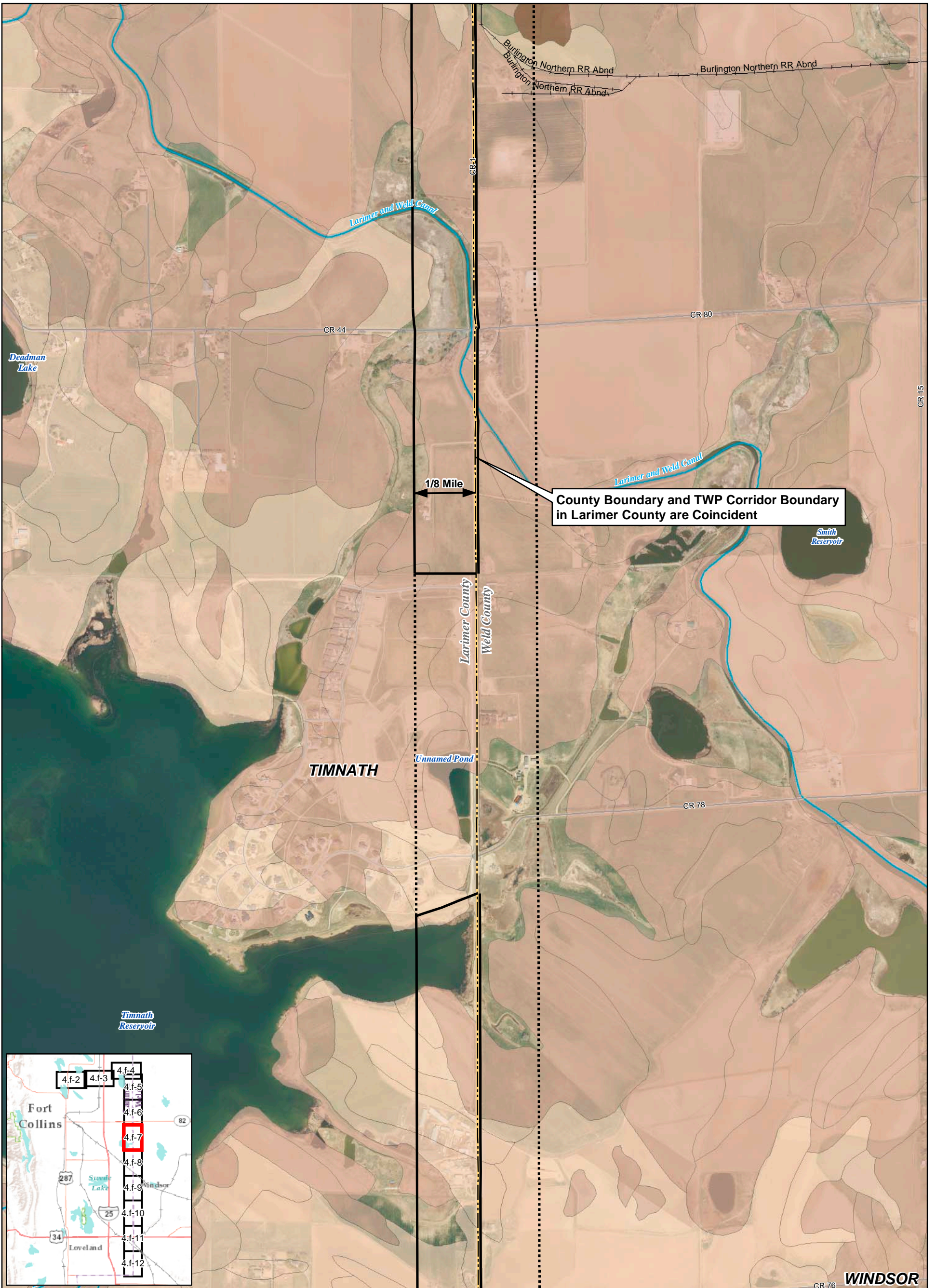
- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- *Source Water Pump Station General Location
- Water Tank General Location


Soil Erodibility (K Factor)

- No Value
- Low (<0.20)
- Medium (0.20 - 0.40)
- High (>0.40)

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Thornton Water Project






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0 500 1,000
Feet

1 inch = 1,000 feet

- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- *Source Water Pump Station General Location
- Water Tank General Location

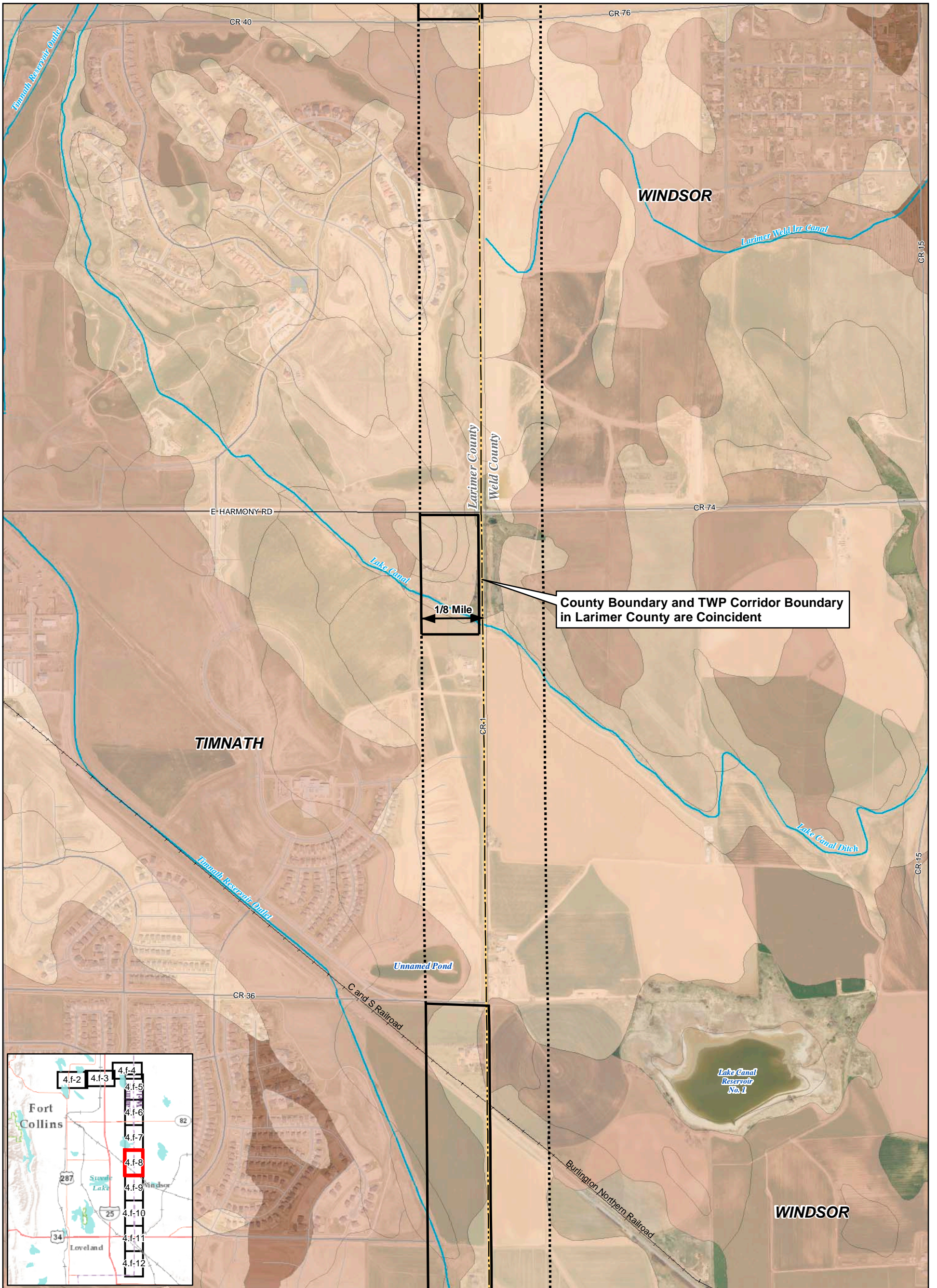
Soil Erodibility (K Factor)


- No Value
- Low (<0.20)
- Medium (0.20 - 0.40)
- High (>0.40)

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

**Figure 4.f-7
Soil Erodibility Map**

Thornton Water Project






**CITY OF THORNTON
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0 500 1,000 Feet

1 inch = 1,000 feet

- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- *Source Water Pump Station General Location
- Water Tank General Location

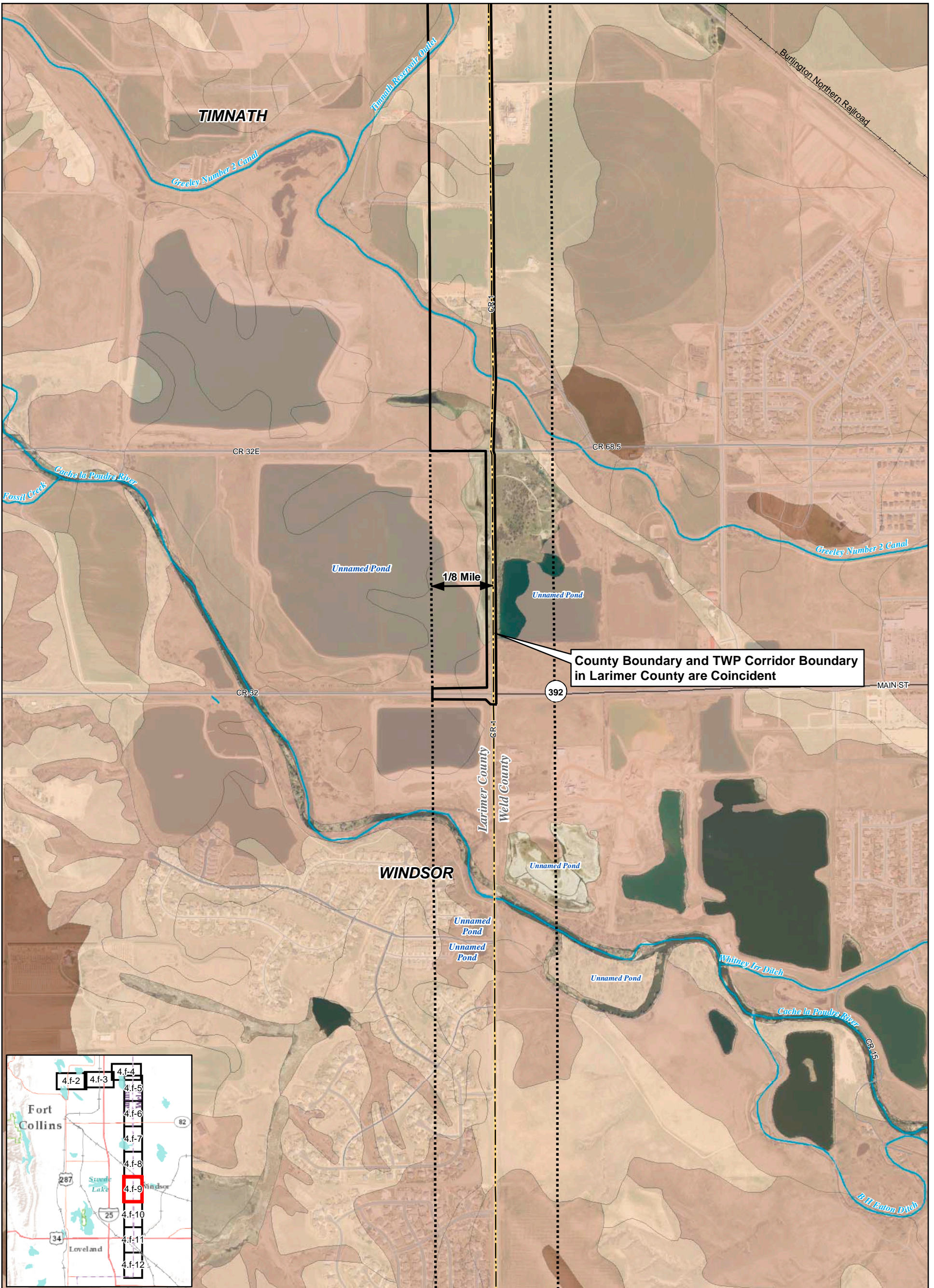
Soil Erodibility (K Factor)


- No Value
- Low (<0.20)
- Medium (0.20 - 0.40)
- High (>0.40)

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

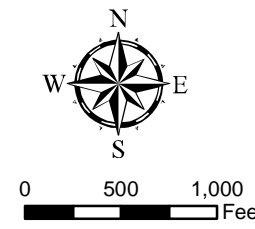
**Figure 4.f-8
Soil Erodibility Map**

Thornton Water Project





**CITY OF THORNTON
COLORADO**
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THORNTON, CO 80241-2405



0 500 1,000 Feet
1 inch = 1,000 feet

- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- *Source Water Pump Station General Location
- Water Tank General Location

Soil Erodibility (K Factor)

- No Value
- Low (<0.20)
- Medium (0.20 - 0.40)
- High (>0.40)

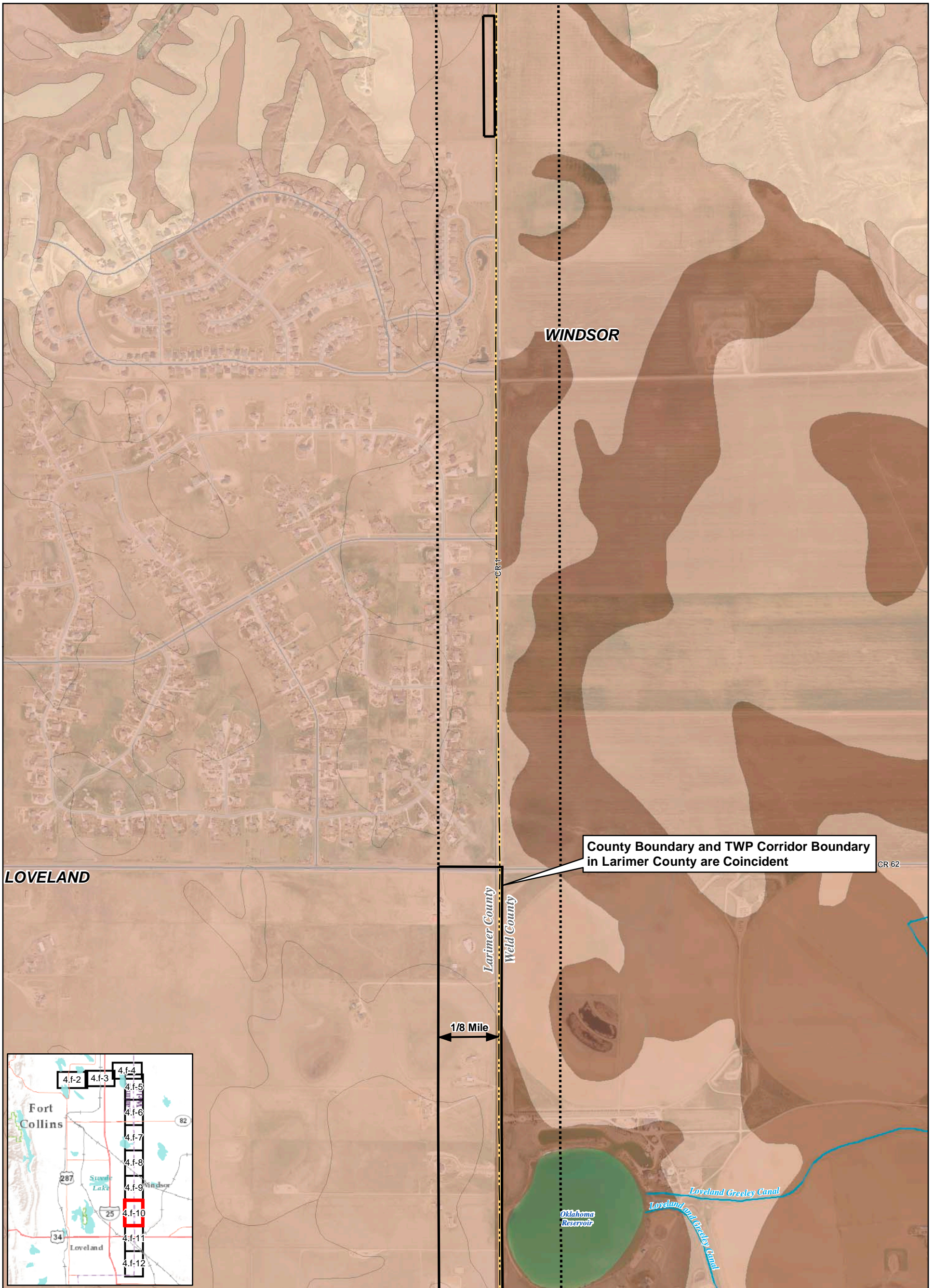
**Figure 4.f-9
Soil Erodibility Map**


* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

W:\1478988_THORNTON_NORTHERN_PROJECT\TASK_ORDER_5\5.1_PERMITTING\GIS\MAPFILES\LARIMER_1041\SECTION4_RESOURCES\SOIL_ERODIBILITY_11X17P.MXD JUAN 12/29/2017 12:59:31 PM

4-25

Thornton Water Project

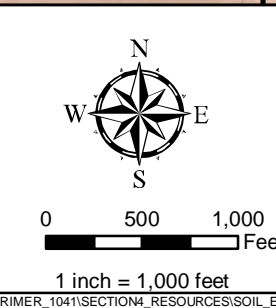




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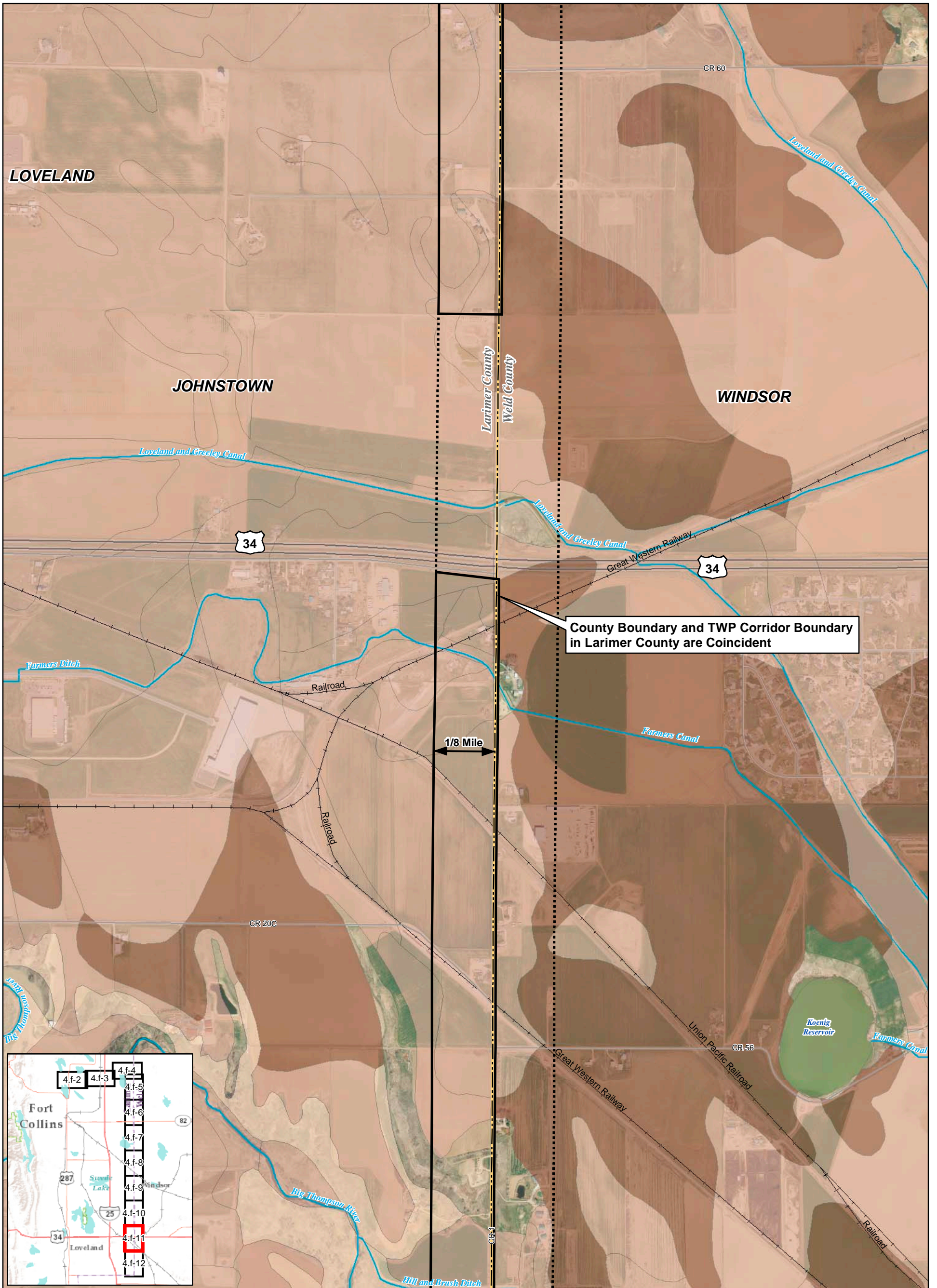



0 500 1,000 Feet

1 inch = 1,000 feet

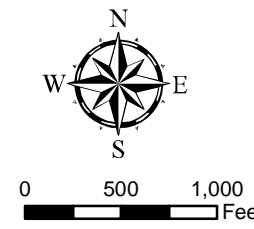
- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- *Source Water Pump Station General Location
- Water Tank General Location

Thornton Water Project





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0 500 1,000 Feet
1 inch = 1,000 feet

- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- *Source Water Pump Station General Location
- Water Tank General Location

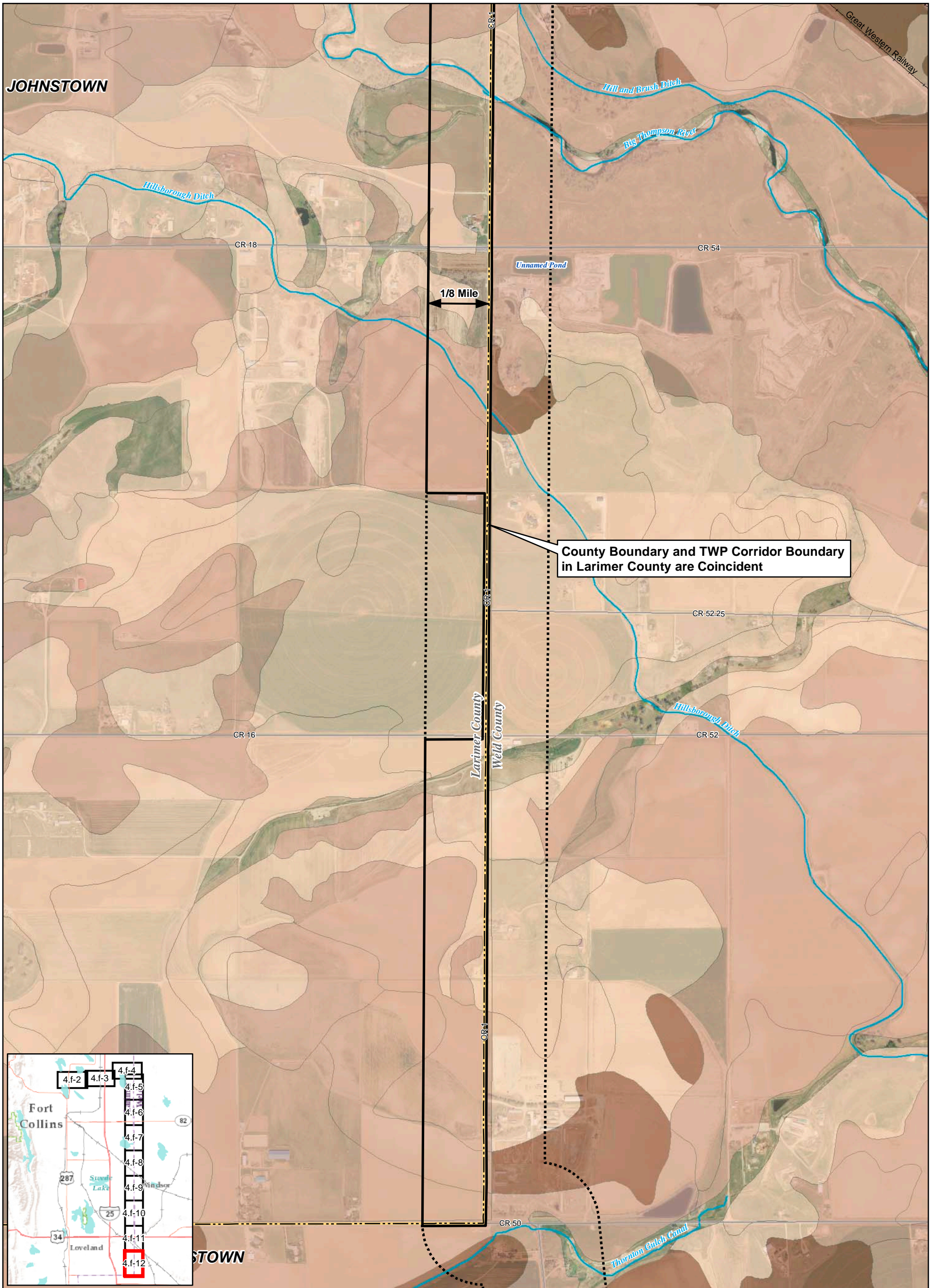
Soil Erodibility (K Factor)


- No Value
- Low (<0.20)
- Medium (0.20 - 0.40)
- High (>0.40)

**Figure 4.f-11
Soil Erodibility Map**

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

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0 500 1,000
Feet

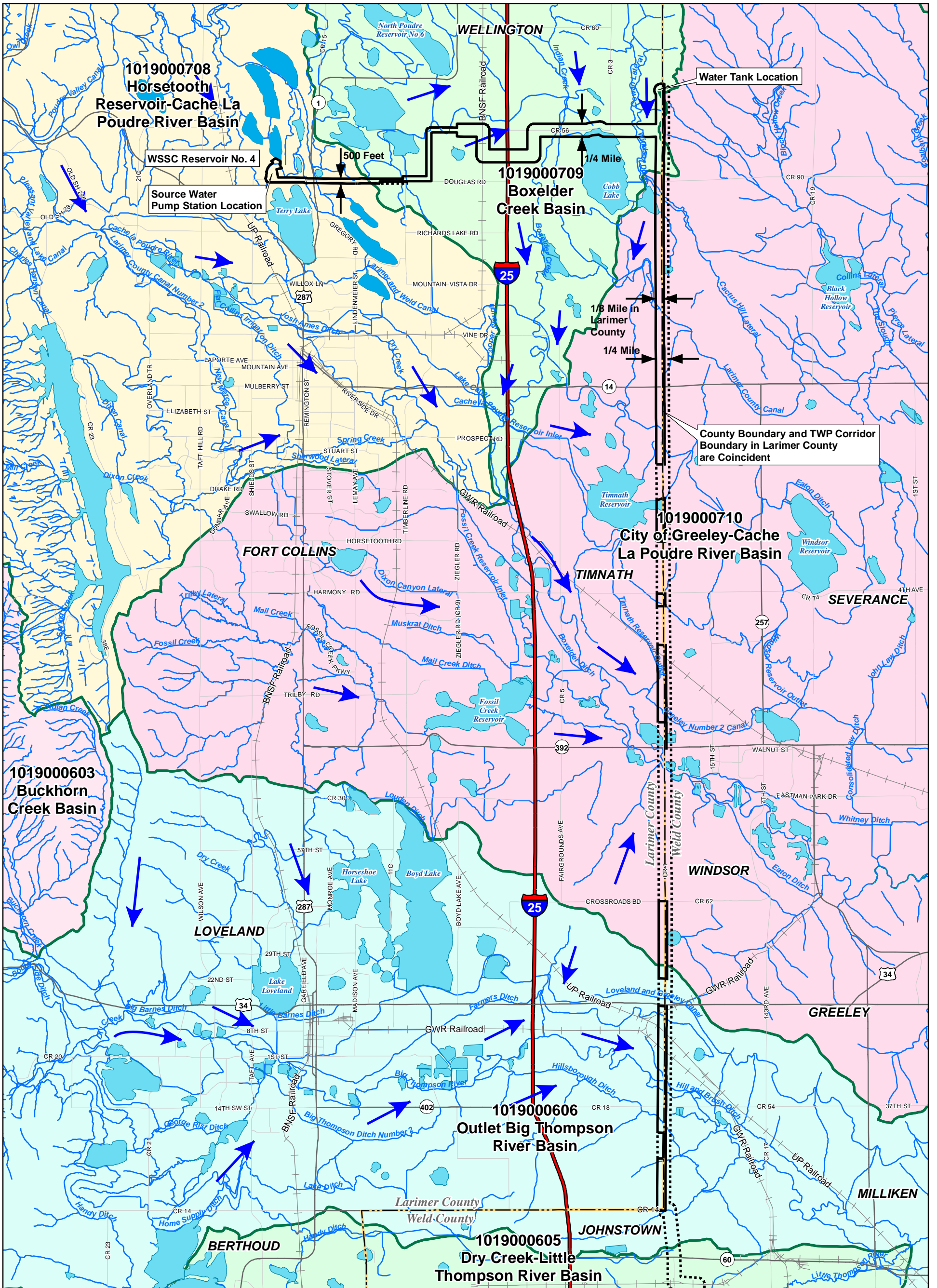
1 inch = 1,000 feet


<ul style="list-style-type: none"> TWP Corridor in Unincorporated Larimer County TWP Corridor outside Unincorporated Larimer County County Boundary Railroad River/Stream/Canal/Ditch *Source Water Pump Station General Location Water Tank General Location 	<p>Soil Erodibility (K Factor)</p> <table border="0"> <tr><td style="background-color: #f0f0f0; width: 20px; height: 10px; display: inline-block;"></td> No Value</tr></table>	

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

**Figure 4.f-12
Soil Erodibility Map**

Thornton Water Project






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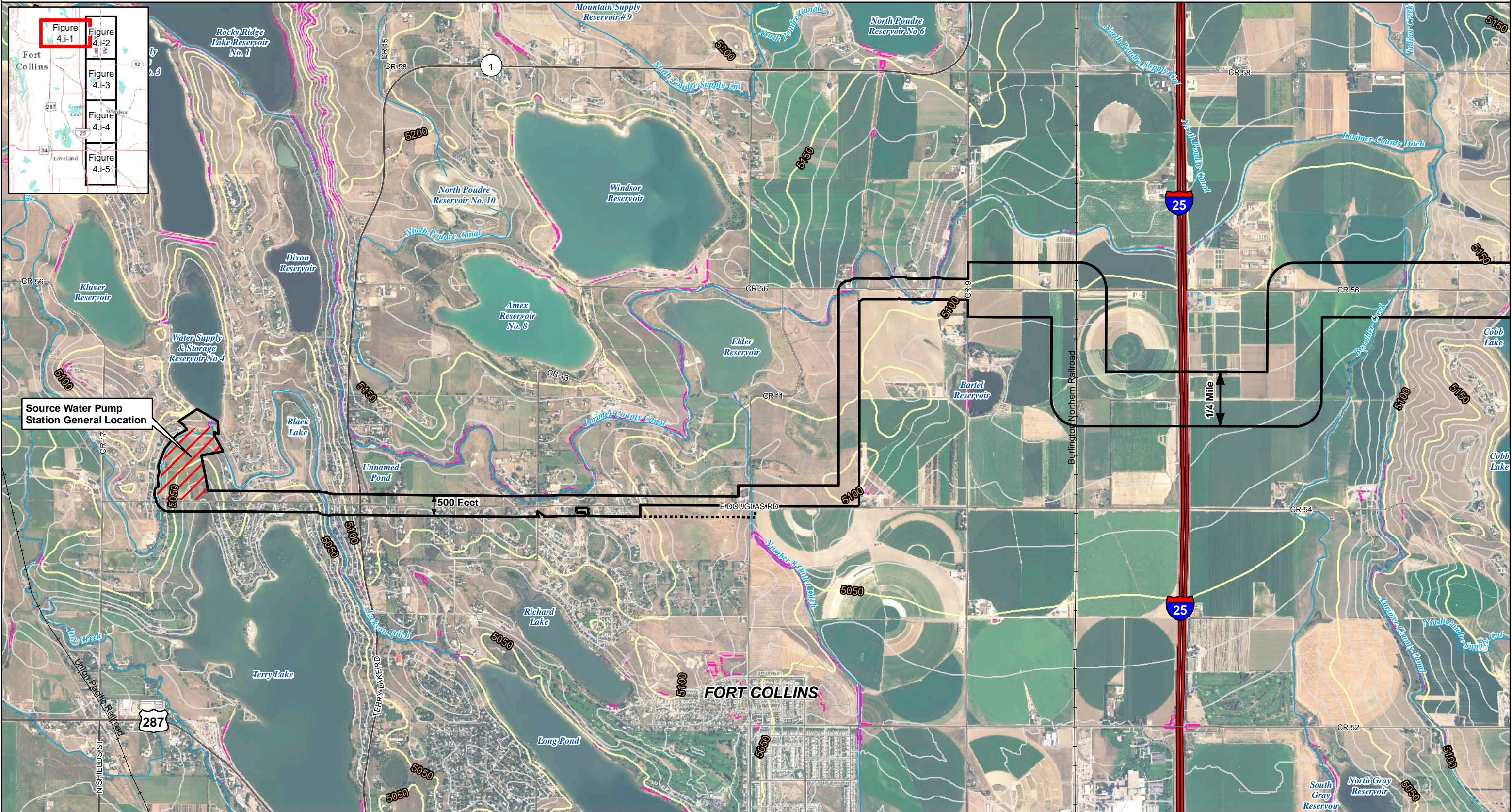
0 0.9 1.8
Miles

1 in = 1.8 miles

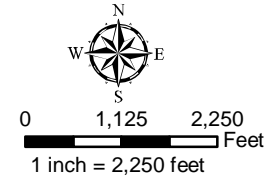
TWP Corridor in Unincorporated Larimer County	Stream/River/Canal/Ditch
TWP Corridor outside Unincorporated Larimer County	HUC 10 Boundary
County Boundary	Flow Direction
Railroad	

**Figure 4.h
HUC Watersheds**

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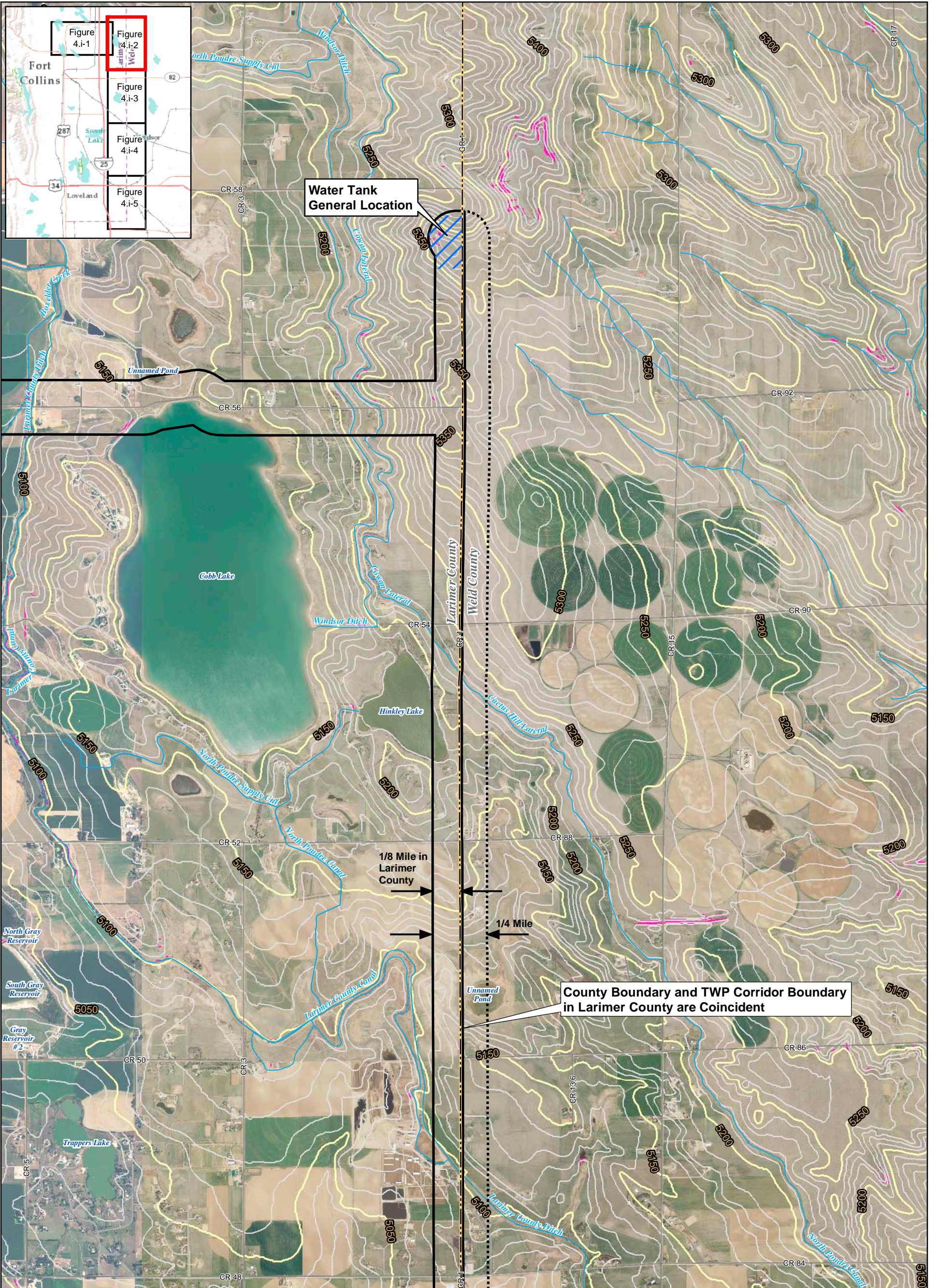



- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- Major Contour (Yellow Line)
- Minor Contour (White Line)
- *Source Water Pump Station General Location
- Water Tank General Location
- Slope**
- $\geq 20\%$

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

**Figure 4.i-1
Topographic Map**

Thornton Water Project






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0 1,125 2,250
Feet

1 inch = 2,250 feet

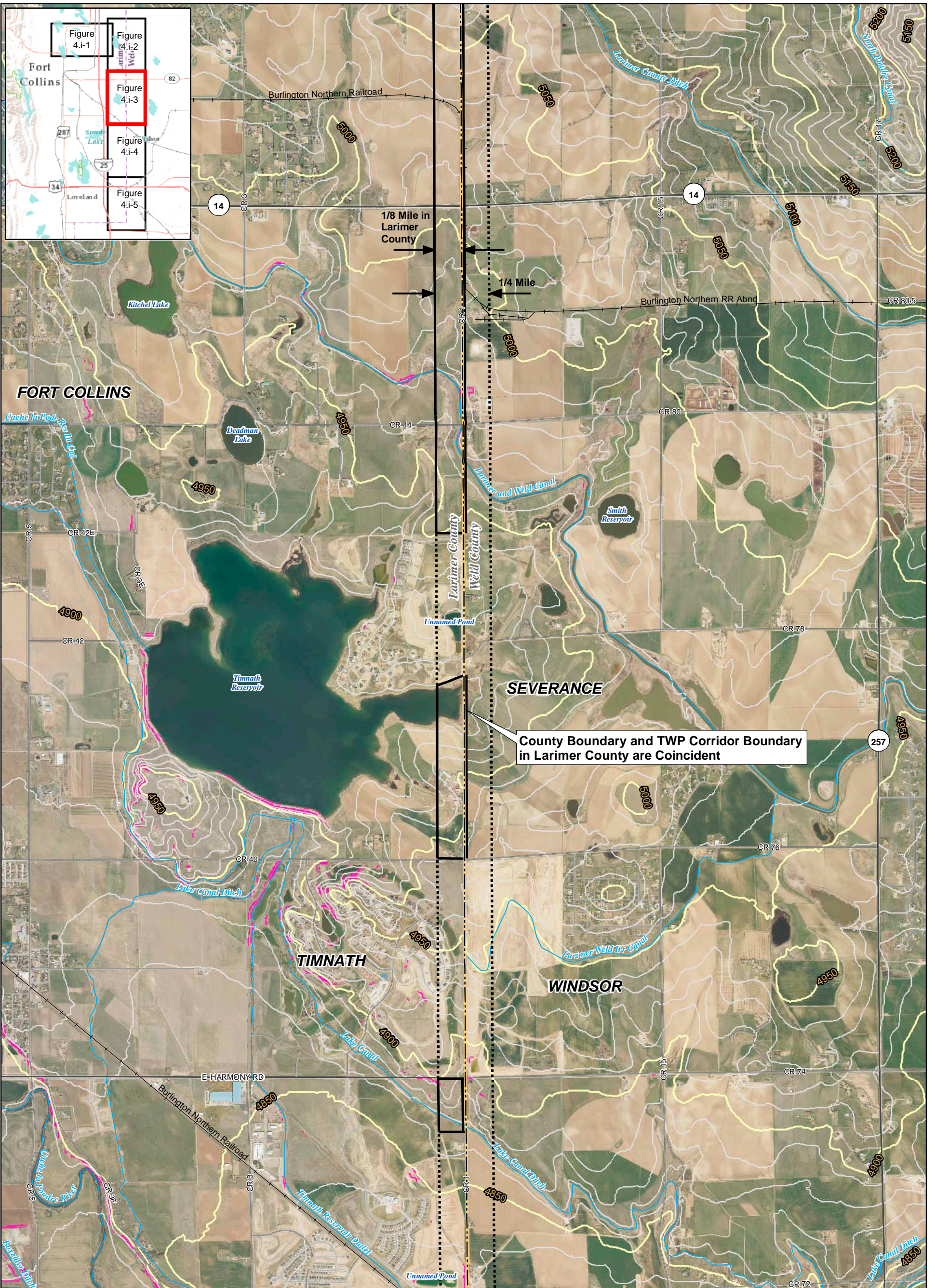
<ul style="list-style-type: none"> TWP Corridor in Unincorporated Larimer County TWP Corridor outside Unincorporated Larimer County County Boundary Railroad River/Stream/Canal/Ditch Major Contour (Yellow Line) Minor Contour (White Line) 	<ul style="list-style-type: none"> *Source Water Pump Station General Location Water Tank General Location <p>Slope</p> <ul style="list-style-type: none"> $\geq 20\%$
--	--

**Figure 4.i-2
Topographic Map**

*Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, NED, DRCOG, NAIIP

Thornton Water Project



County Boundary and TWP Corridor Boundary in Larimer County are Coincident

Thornton
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0 1,125 2,250 Feet

1 inch = 2,250 feet

- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- Major Contour (Yellow Line)
- Minor Contour (White Line)

- / *Source Water Pump Station General Location
- / Water Tank General Location

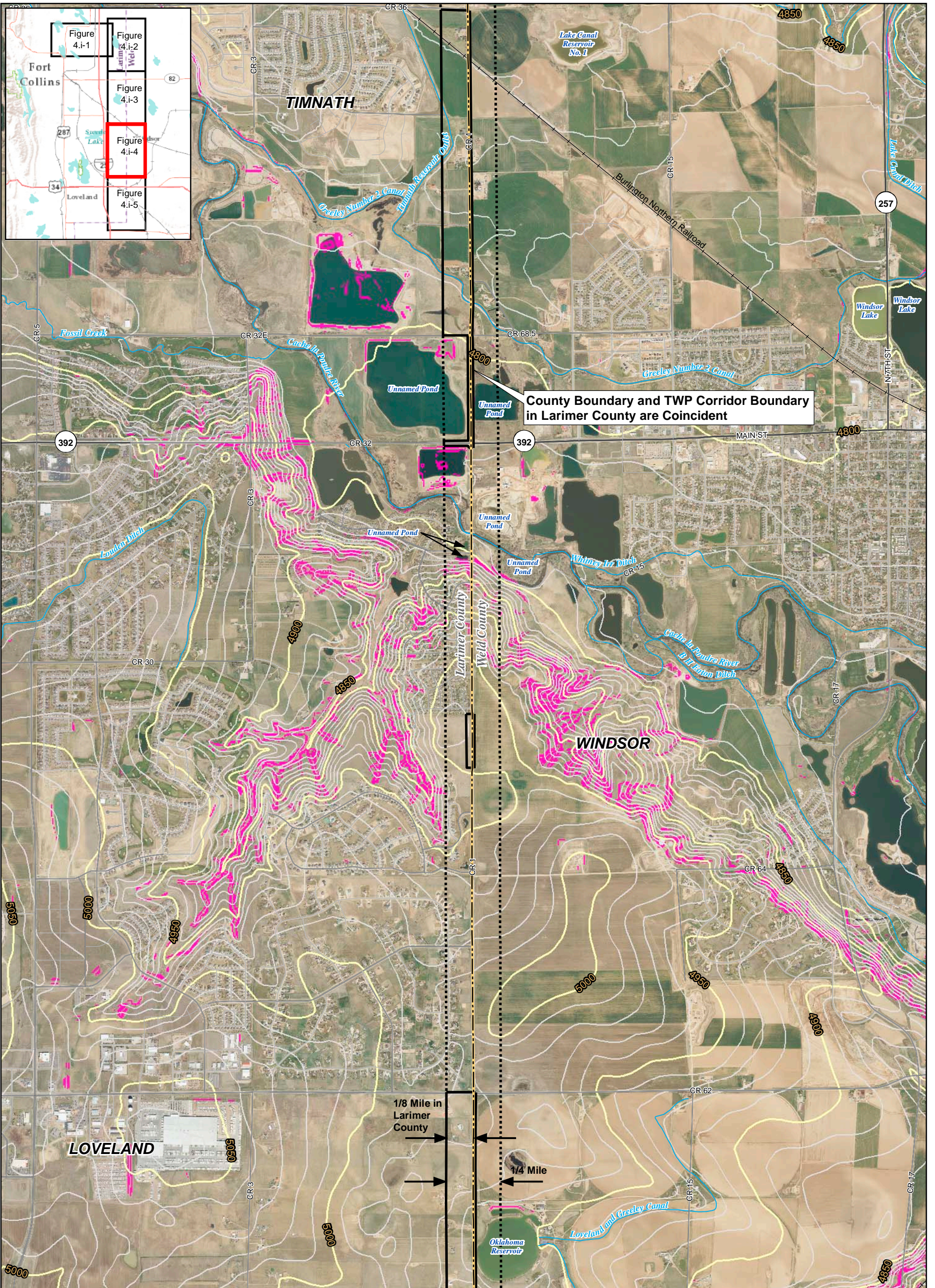
Slope

- $\geq 20\%$


Figure 4.i-3
Topographic Map

*Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Thornton Water Project



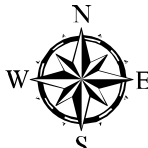
County Boundary and TWP Corridor Boundary in Larimer County are Coincident



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0 1,125 2,250
Feet

1 inch = 2,250 feet

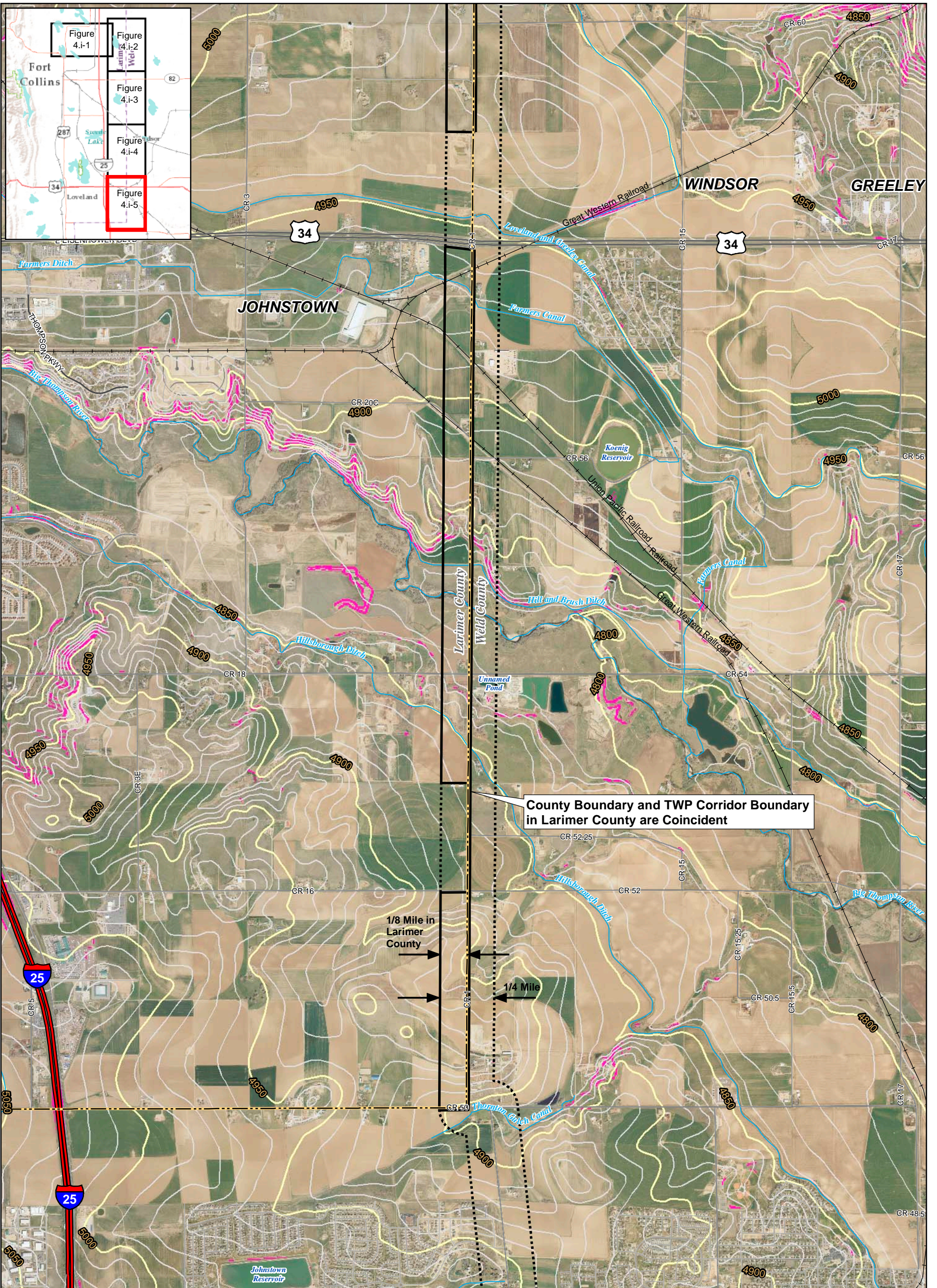
TWP Corridor in Unincorporated Larimer County	*Source Water Pump Station General Location
TWP Corridor outside Unincorporated Larimer County	Water Tank General Location
County Boundary	Slope
Railroad	$\geq 20\%$
River/Stream/Canal/Ditch	
Major Contour (Yellow Line)	
Minor Contour (White Line)	

**Figure 4.i-4
Topographic Map**

*Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, NED, DRCOG, NAIP

Thornton Water Project



Thornton
WATER PROJECT

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COLORADO

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0 1,125 2,250 Feet

1 inch = 2,250 feet

- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- River/Stream/Canal/Ditch
- Major Contour (Yellow Line)
- Minor Contour (White Line)

- *Source Water Pump Station General Location
- Water Tank General Location

Slope

- $\geq 20\%$

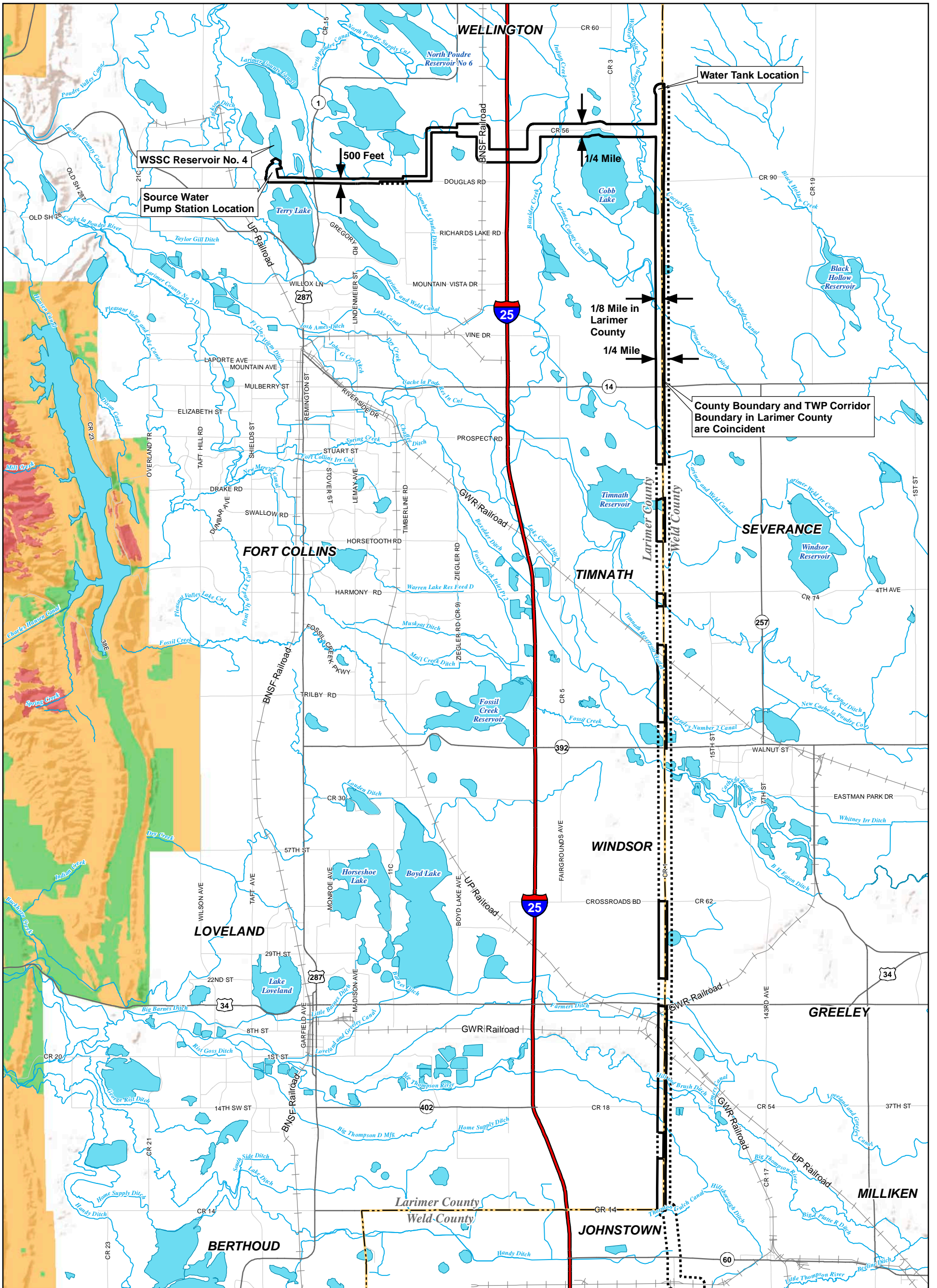
Figure 4.i-5
Topographic Map

*Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

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Thornton Water Project



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0 0.9 1.8
Miles
1 in = 1.8 miles

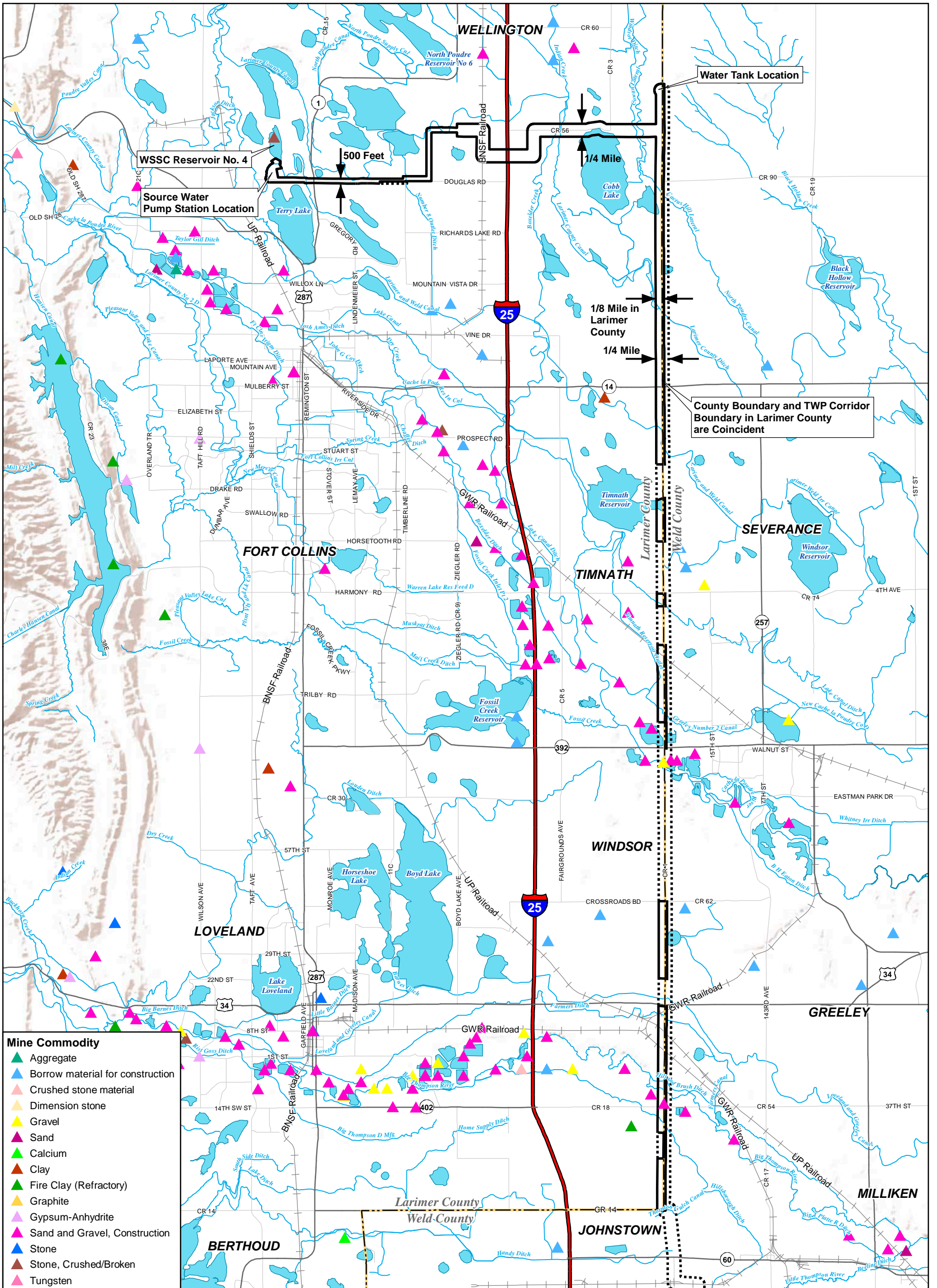
- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- Lake/Reservoir
- River/Stream/Canal/Ditch

- WildFire Hazard Area - Very High Hazard
- High Hazard
- Moderate Hazard
- Low Hazard
- Outside Hazard Mitigation Area

**Figure 4.1
Wildfire Hazards**

Sources: NHD, CDWR, Larimer and Weld Counties, CDOT

Thornton Water Project



- Mine Commodity**
- ▲ Aggregate
 - ▲ Borrow material for construction
 - ▲ Crushed stone material
 - ▲ Dimension stone
 - ▲ Gravel
 - ▲ Sand
 - ▲ Calcium
 - ▲ Clay
 - ▲ Fire Clay (Refractory)
 - ▲ Graphite
 - ▲ Gypsum-Anhydrite
 - ▲ Sand and Gravel, Construction
 - ▲ Stone
 - ▲ Stone, Crushed/Broken
 - ▲ Tungsten

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1 in = 1.8 miles

- ▭ TWP Corridor in Unincorporated Larimer County
- ▭ TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- Lake/Reservoir
- River/Stream/Canal/Ditch

**Figure 4.n
Commercial
Mineral Mines**

Sources: NHD, CDWR, CDRMS, Larimer and Weld Counties, CDOT

Section 5 1041 Permit Site Maps

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 5.

As discussed during the Pre-Application Conference with Larimer County Planning staff on May 26, 2016, Thornton will supply final alignment and construction plans to Larimer County prior to construction to meet 1041 Permit Site Map requirements. Construction plans are anticipated to be delivered in multiple packages. **Figure 5-1** through **Figure 5-5** show the 1041 Permit Site Maps for the TWP Corridor (24" x 36" sheets).

FIGURE 5-1
TWP Corridor Map



Figure_5_TWP_Corridor_Mapbook_24x36_2

FIGURE 5-2
TWP Corridor Map

FIGURE 5-3
TWP Corridor Map

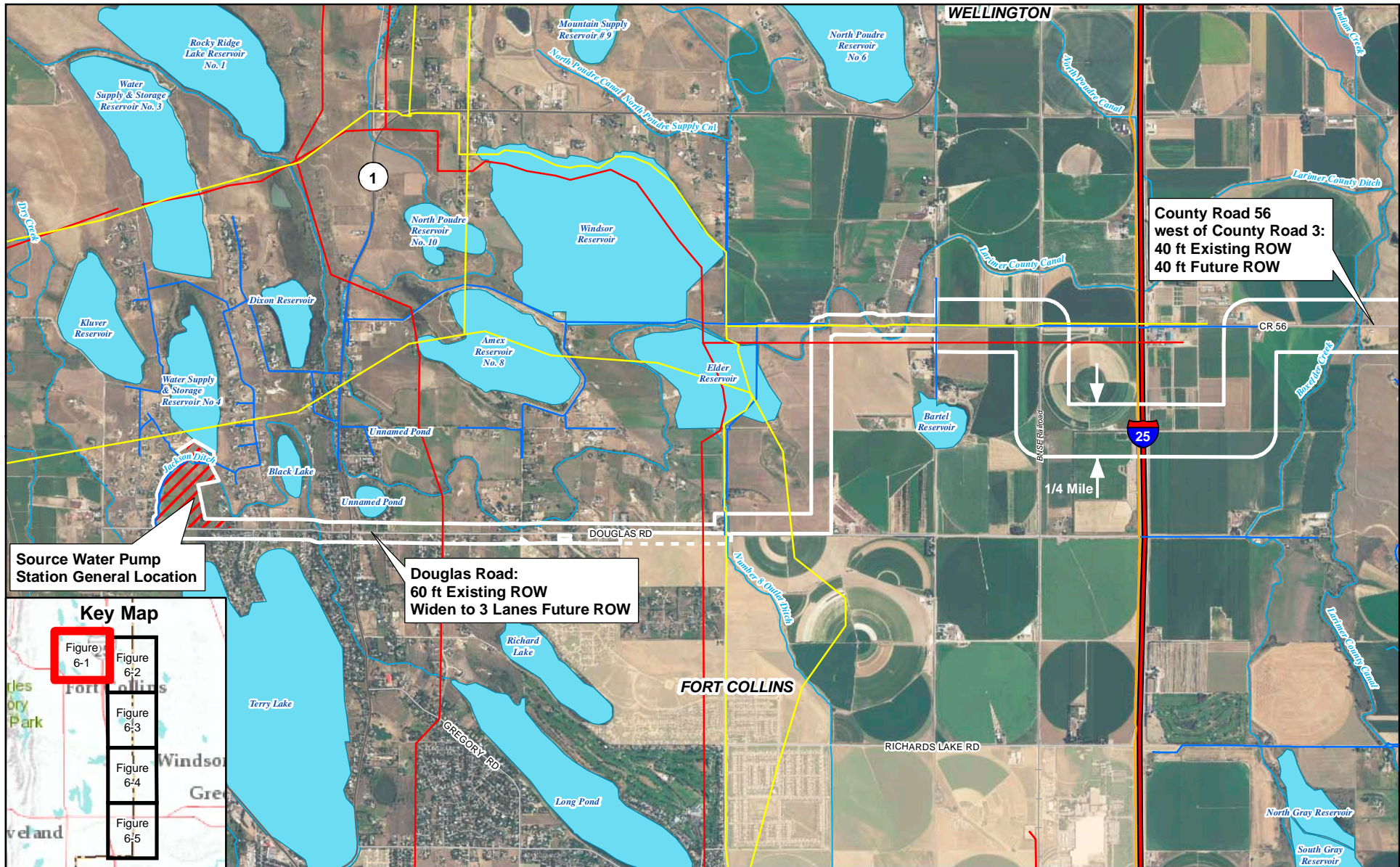
FIGURE 5-4
TWP Corridor Map

FIGURE 5-5
TWP Corridor Map

Section 6 Reduced 1041 Site Permit Maps

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 6.

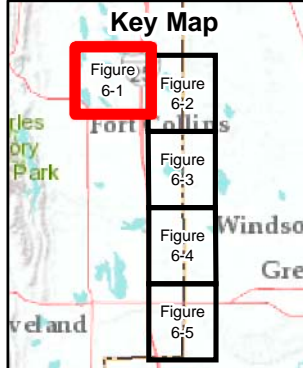
As discussed during the Pre-Application Conference with Larimer County Planning staff on May 26, 2016, Thornton will supply final alignment and construction plans to Larimer County prior to construction to meet 1041 Site Permit Map requirements. Construction plans are anticipated to be delivered in multiple packages. **Figure 6-1** through **Figure 6-5** show the Reduced 1041 Site Permit Maps for the TWP Corridor (8 ½" x 11" sheets).



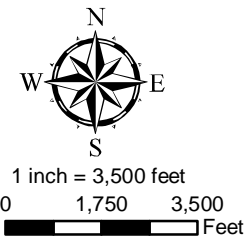
Source Water Pump Station General Location

**Douglas Road:
60 ft Existing ROW
Widen to 3 Lanes Future ROW**

**County Road 56
west of County Road 3:
40 ft Existing ROW
40 ft Future ROW**



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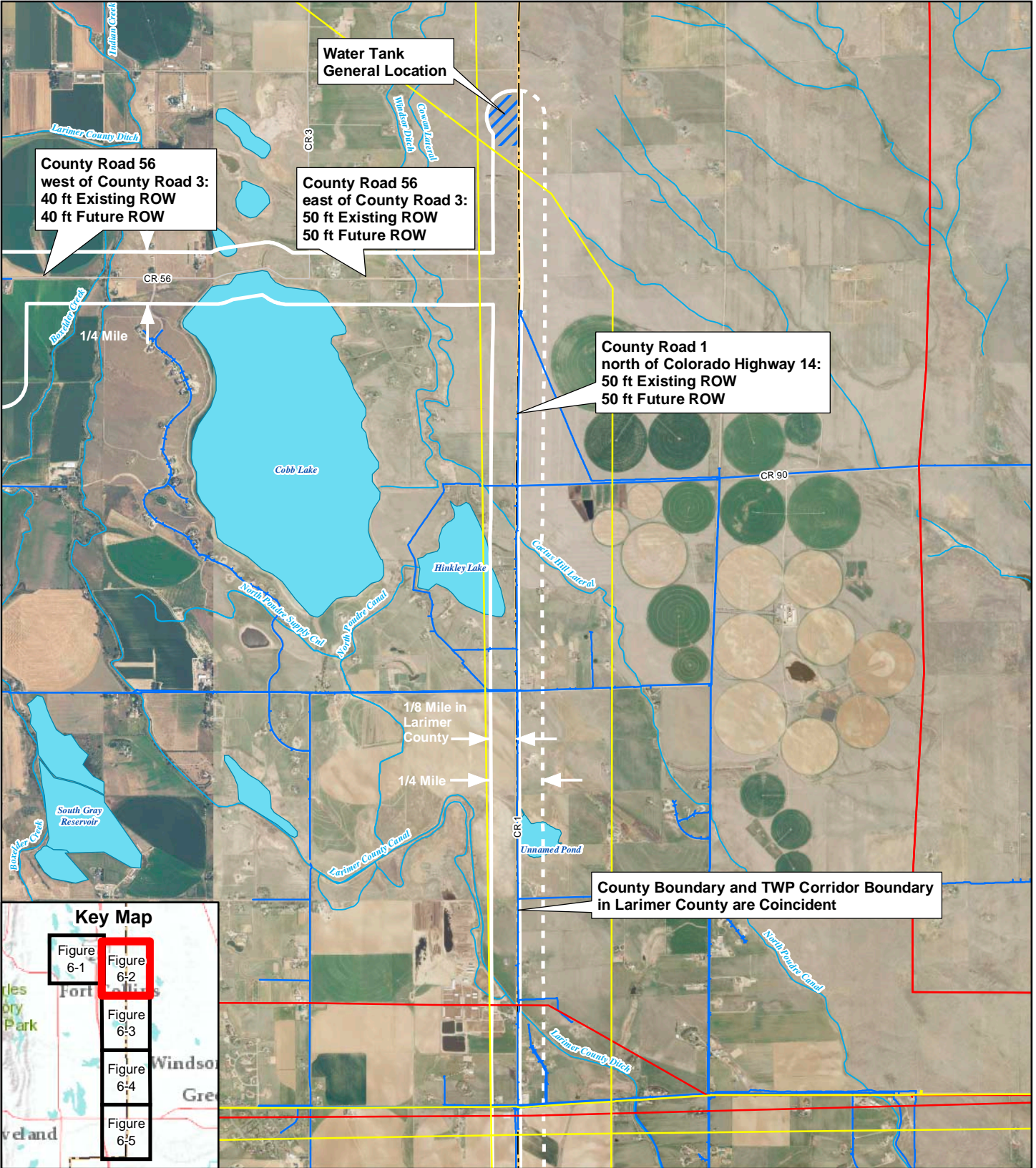
- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- *Source Water Pump Station General Location
- Water Tank General Location
- County Boundary
- Railroad
- Lake/Reservoir
- River/Stream/Canal/Ditch
- Telecommunications Line
- Gas Line
- Electrical Transmission Line
- Sanitary Sewer Line
- Water Pipeline

- Corporate Boundaries Crossed by the Proposed Corridor**
- Fort Collins
 - Johnstown
 - Loveland
 - Timnath
 - Wellington
 - Windsor

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, City of Thornton, DRCOG, NAIP, Zayo, Xcel Energy, Penwell, Tri-State Power, Town of Windsor, Northern Water, NWCWD, ELCCO

**Figure 6-1
Reduced 1041 Site Permit
Map for TWP Corridor**



Thornton WATER PROJECT

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1 inch = 3,500 feet

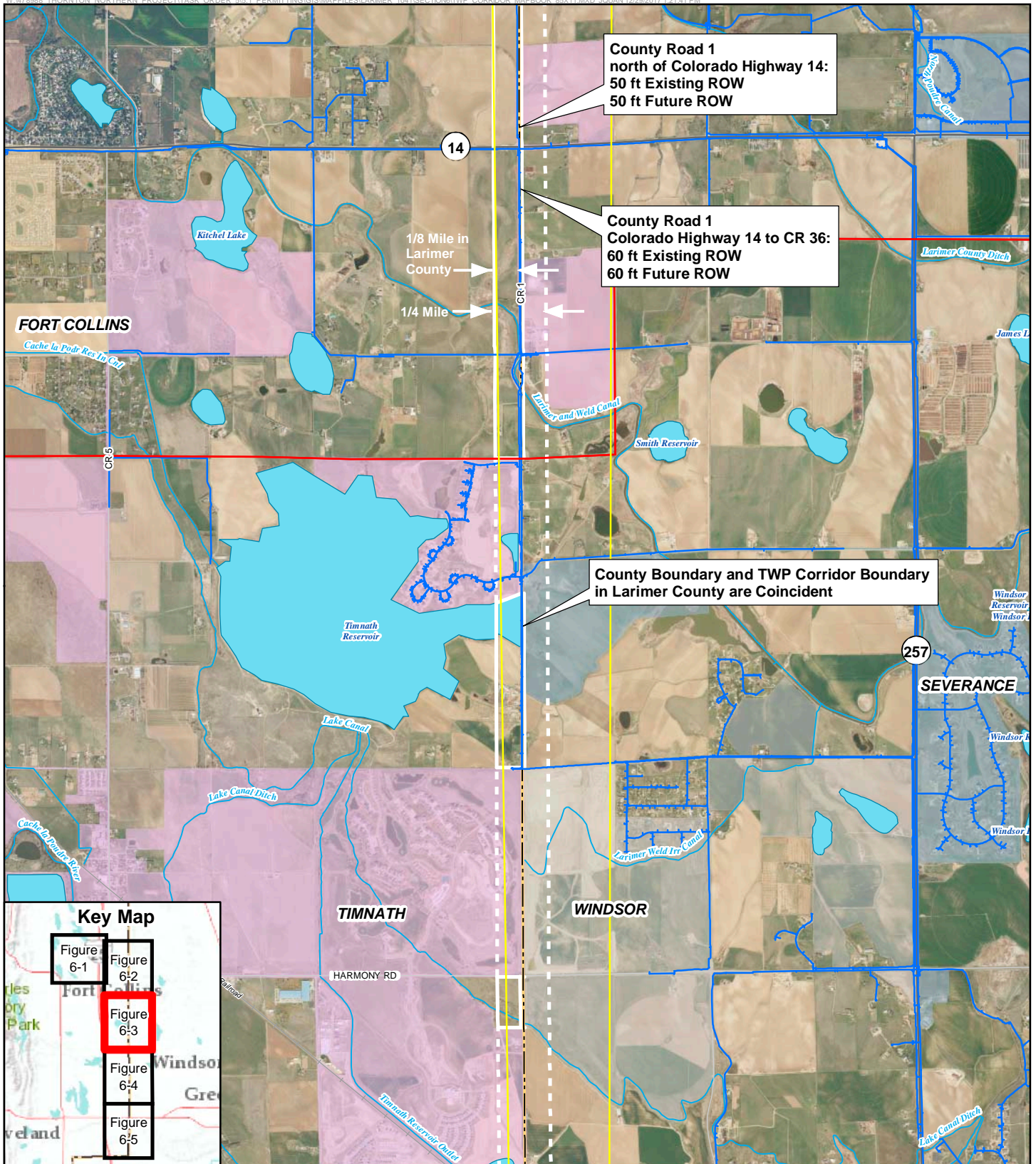
0 1,750 3,500 Feet

- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- Lake/Reservoir
- River/Stream/Canal/Ditch
- *Source Water Pump Station General Location
- Water Tank General Location
- Telecommunications Line
- Gas Line

- Electrical Transmission Line
 - Sanitary Sewer Line
 - Water Pipeline
- Corporate Boundaries Crossed by the Proposed Corridor**
- Fort Collins
 - Johnstown
 - Loveland
 - Timnath
 - Wellington
 - Windsor

Figure 6-2
Reduced 1041 Site
Permit Map for
TWP Corridor

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, City of Thornton, DRCOG, NAIP, Zayo, Xcel Energy, Perwell, Tri-State Power, Town of Windsor, Northern Water, NWCWD, ELCO



County Road 1 north of Colorado Highway 14: 50 ft Existing ROW 50 ft Future ROW

County Road 1 Colorado Highway 14 to CR 36: 60 ft Existing ROW 60 ft Future ROW

County Boundary and TWP Corridor Boundary in Larimer County are Coincident

Key Map

- Figure 6-1
- Figure 6-2
- Figure 6-3**
- Figure 6-4
- Figure 6-5



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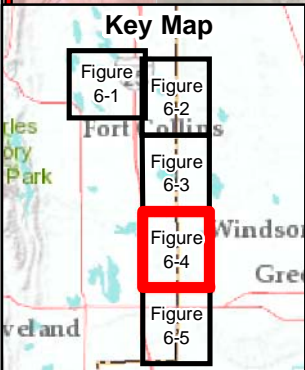
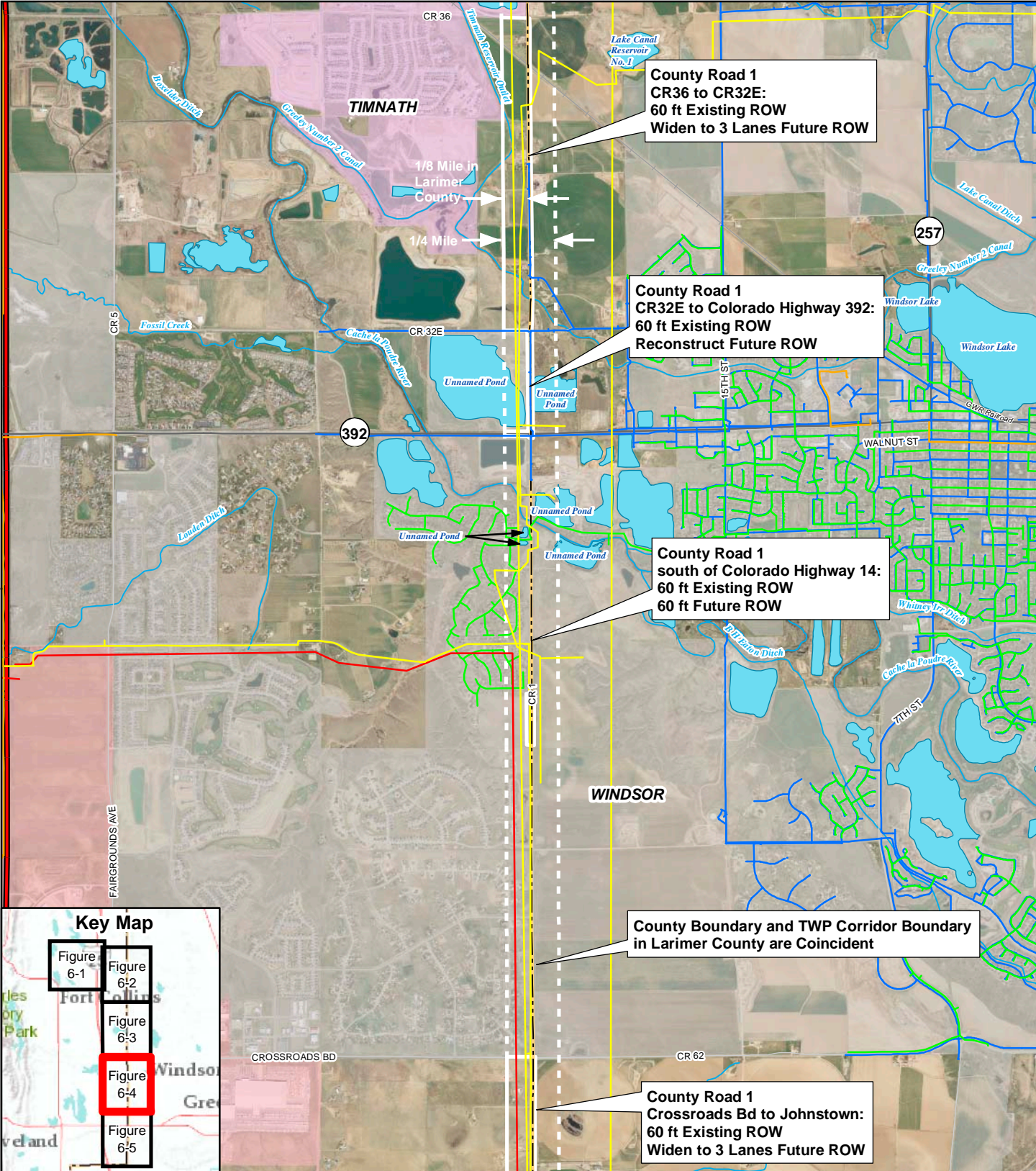


1 inch = 3,500 feet
 0 1,750 3,500 Feet

- TWP Corridor in Unincorporated Larimer County
 - TWP Corridor outside Unincorporated Larimer County
 - County Boundary
 - Railroad
 - Lake/Reservoir
 - River/Stream/Canal/Ditch
 - *Source Water Pump Station General Location
 - Water Tank General Location
 - Telecommunications Line
 - Gas Line
 - Electrical Transmission Line
 - Sanitary Sewer Line
 - Water Pipeline
- Corporate Boundaries Crossed by the Proposed Corridor**
- Fort Collins
 - Johnstown
 - Loveland
 - Timnath
 - Wellington
 - Windsor

Figure 6-3
 Reduced 1041 Site Permit Map for TWP Corridor

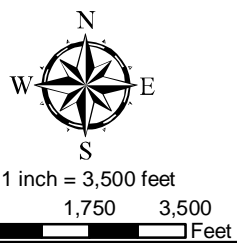
Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, City of Thornton, DRCOG, NAIP, Zayo, Xcel Energy, Perwell, Tri-State Power, Town of Windsor, Northern Water, NWCWD, ELCO



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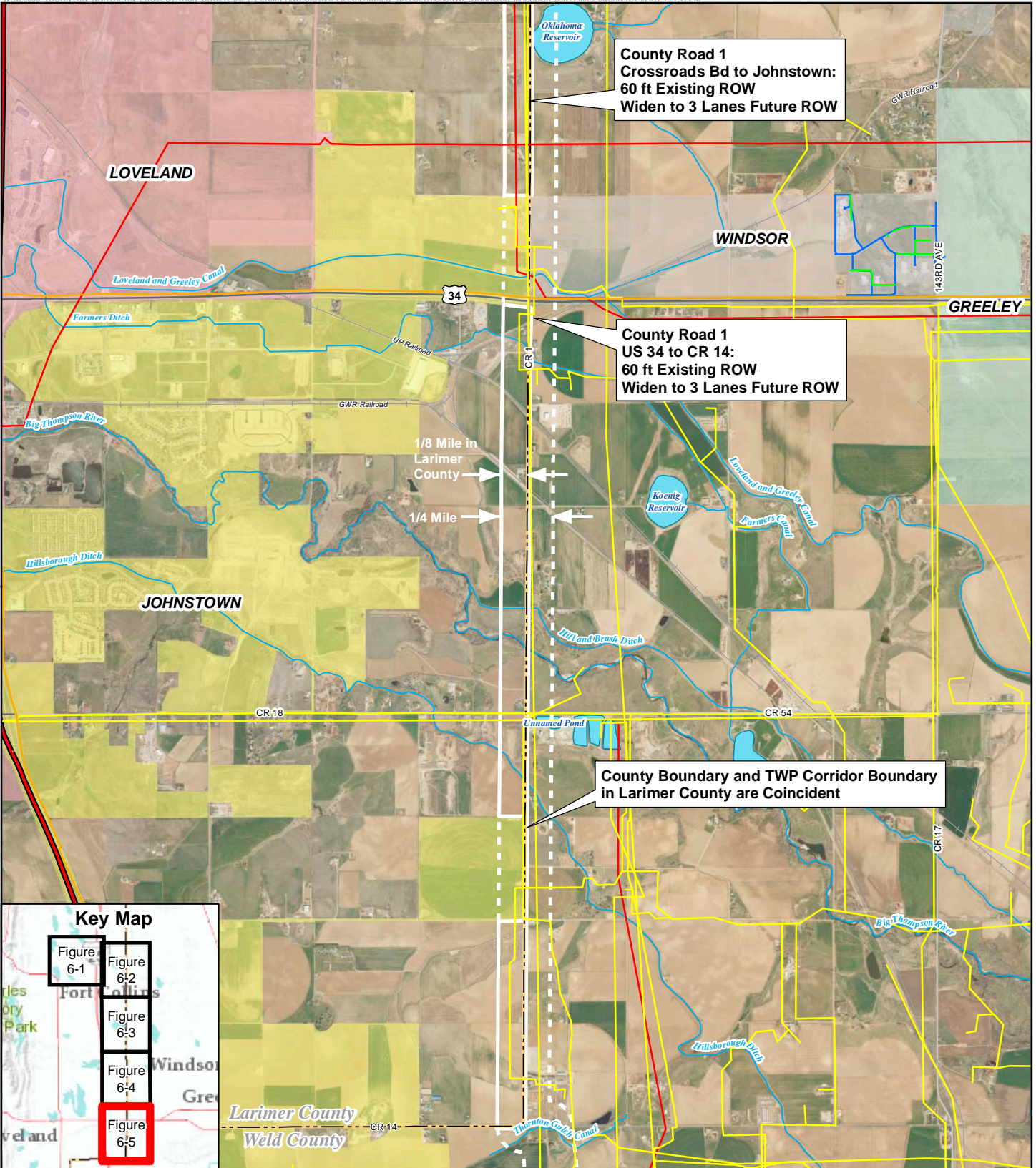
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- TWP Corridor in Unincorporated Larimer County
 - TWP Corridor outside Unincorporated Larimer County
 - County Boundary
 - Railroad
 - Lake/Reservoir
 - River/Stream/Canal/Ditch
 - *Source Water Pump Station General Location
 - Water Tank General Location
 - Telecommunications Line
 - Gas Line
 - Electrical Transmission Line
 - Sanitary Sewer Line
 - Water Pipeline
- Corporate Boundaries Crossed by the Proposed Corridor**
- Fort Collins
 - Johnstown
 - Loveland
 - Timnath
 - Wellington
 - Windsor

**Figure 6-4
 Reduced 1041 Site
 Permit Map for
 TWP Corridor**

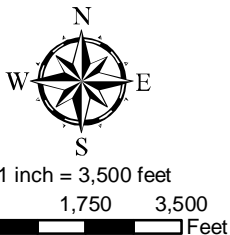
Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, City of Thornton, DRCOG, NAIP, Zayo, Xcel Energy, Perwell, Tri-State Power, Town of Windsor, Northern Water, NWCWD, ELCO



Thornton WATER PROJECT

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- TWP Corridor in Unincorporated Larimer County
 - TWP Corridor outside Unincorporated Larimer County
 - County Boundary
 - Railroad
 - Lake/Reservoir
 - River/Stream/Canal/Ditch
 - *Source Water Pump Station General Location
 - Water Tank General Location
 - Telecommunications Line
 - Gas Line
 - Electrical Transmission Line
 - Sanitary Sewer Line
 - Water Pipeline
- Corporate Boundaries Crossed by the Proposed Corridor**
- Fort Collins
 - Johnstown
 - Loveland
 - Timnath
 - Wellington
 - Windsor

Figure 6-5
Reduced 1041 Site
Permit Map for
TWP Corridor

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, City of Thornton, DRCOG, NAIP, Zayo, Xcel Energy, Perwell, Tri-State Power, Town of Windsor, Northern Water, NWCWD, ELCO

Section 7 Legal Description

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 7.

As discussed during the Pre-Application Conference with Larimer County Planning staff on May 26, 2016, a general project corridor description will meet this requirement for permitting a linear project corridor. No final pipeline alignment has been developed and no easements in unincorporated Larimer County have been executed at the time that this Application is being submitted. Once complete, final design/construction drawings will be submitted to Larimer County.

Project Corridor

Thornton is proposing to construct, operate, and maintain the TWP, which includes up to approximately 26 miles of a buried 48-inch water pipeline and associated appurtenances in unincorporated Larimer County, Colorado. The TWP corridor width varies from 500-feet to ¼-mile depending on location and exceeds ¼-mile at some locations to allow for flexibility when developing the final water pipeline alignment.

The east/west section of the TWP corridor is approximately 10 miles long, extending east in unincorporated Larimer County north of Fort Collins from WSSC Reservoir No. 4, then across Interstate 25 to Larimer County Road 1/Weld County Road 13 (County Road 1). The TWP corridor is 500-feet wide along Douglas Road to Larimer County Road 9. The TWP corridor is ¼-mile wide east of Larimer County Road 9 and generally follows roads and property lines.

The section of the TWP corridor that generally runs north/south unincorporated in Larimer County is ½-mile wide and approximately 16 miles long. The TWP corridor follows County Road 1 from just south of County Road 58 to County Road 14. County Road 1 is the Larimer County/Weld County line and the full ¼-mile wide TWP corridor is centered on the County line, encroaching ⅛-mile into each county. The TWP corridor continues south of County Road 14 into Weld County and then into Adams County where it terminates at the Thornton water treatment plants.

Portions of the TWP corridor include approximately 10 miles in incorporated areas of Fort Collins, Johnstown, Timnath, or Windsor, including roads that have been annexed by local governments.

Additional information and figures of the TWP corridor can be found in Section 2, Project Description.

Section 8 Technical Reports

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 8.f, and the criteria and standards described in LUC Sections 4.2.2, 8.1 through 8.4, 8.11, 8.12, 14.10.D.3, 14.10.D.4, and 14.10.D.6 through 14.10.D.11.

The following technical reports are provided in this section:

Section 8.a Wetland Mitigation Plan and 8.b Wildlife Conservation Plan

Sections 8.a and 8.b summarize the Natural and Cultural Resources Assessment Report and Addendum to the Natural and Cultural Resources Assessment found in **Appendix C**. The reports identify possible natural resources within the TWP corridor and associated monitoring and mitigation measures to minimize or eliminate potential impacts. The natural resources presented in the report include:

- Open waters, wetlands, and riparian areas
- Terrestrial and aquatic animals and habitats
- Terrestrial and aquatic plant life
- Noxious weeds

Section 8.c – Natural Hazard Mitigation Plan

The Natural Hazard Mitigation Plan identifies geologic hazard areas within the TWP corridor and associated mitigation measures that could be implemented to minimize potential impacts. The geologic information is based on Larimer County GIS data downloaded in August 2016 from Larimer County's GIS Digital Database.

The TWP corridor is located outside of wildfire hazard areas based on Larimer County GIS data downloaded in August 2016 from Larimer County's GIS Digital Data.

Section 8.d – Traffic Impact Study

As discussed during the Pre-Application Conference with Larimer County Planning staff on May 26, 2016, the Traffic Impact Study includes a traffic narrative that identifies the short- and long-term impacts of vehicular traffic and associated mitigation measures to minimize potential impacts. The narrative was developed in consideration with area goals and transportation improvement plans outlined in the *Larimer County Transportation Master Plan*.

Section 8.e – Drainage and Erosion Control Report and Plan

As discussed during the Pre-Application Conference, the Drainage and Erosion Control Report and Plan includes a drainage narrative. This section presents the existing site drainage within the TWP corridor including drainage watersheds and general flow paths, construction water quality management, and post-construction stormwater runoff. Possible mitigation measures to minimize potential impacts are also included.

Section 8.f – Floodplain Hydraulic/Hydrologic Modeling Report

The Floodplain Hydraulic/Hydrologic Modeling Report identifies floodplains within the TWP. The TWP will not alter floodplains.

Section 8.g – Groundwater Modeling Report

As discussed during the Pre-Application Conference, the Groundwater Modeling Report consists of a simplified groundwater report that discusses construction methods and proposed best management practices (BMPs) to mitigate potential impacts to existing groundwater flow characteristics.

Section 8.h – Non-Subdivision Water Supply Inquiry (Not Required)

As discussed during the Pre-Application Conference, a Non-Subdivision Water Supply Inquiry is not required.

Section 8.i – Simulation of the Appearance of the Facility (Not Required)

As discussed during the Pre-Application Conference, a Simulation of the Appearance of the Facility is not required.

Section 8.j – Computer Modeled Electromagnetic Field Measurements (Not Required)

As discussed during the Pre-Application Conference, a Computer Modeled Electromagnetic Field Measurement is not required.

Section 8.k – Noise Analysis

The Noise Analysis presents anticipated noise impacts during construction and post-construction operations and associated mitigation measures that could be implemented to meet the most current Larimer County Noise Level Ordinance.

Section 8.l – Air Quality Impact and Mitigation Report

The Air Quality Impact and Mitigation Report identifies potential sources of air pollution during construction and post-construction operations and associated mitigation measures that could be implemented to minimize potential impacts.

Section 8 Technical Reports

8.a Wetland Mitigation Plan

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 8.a, and the criteria and standards described in LUC Sections 8.2, 14.10.D.3, 14.10.D.4, 14.10.D.10, and 14.10.D.11.

The TWP corridor and study buffer cross multiple open waters, riparian areas, and wetlands. Additional information can be found in **Appendix C**, Natural and Cultural Resources Assessment Report and Addendum to the Natural and Cultural Resources Assessment.

Section 8 Technical Reports

8.b Wildlife Conservation Plan

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 8.b, and the criteria and standards described in LUC Sections 8.4, 14.10.D.3, 14.10.D.4, 14.10.D.10, and 14.10.D.11.

The TWP corridor and study buffer cross multiple wildlife habitats. Additional information can be found in **Appendix C**, Natural and Cultural Resources Assessment Report and Addendum to the Natural and Cultural Resources Assessment.

Section 8 Technical Reports

8.c Natural Hazard Mitigation Plan

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 8.c, and the criteria and standards described in LUC Sections 8.3, 14.10.D.3, 14.10.D.4, 14.10.D.6, 14.10.D.7, and 14.10.D.11.

Based on Larimer County GIS data downloaded in August 2016 from Larimer County's GIS Digital Data and shown in **Figure 8.c-1**, the TWP corridor is located outside of designated wildfire hazard areas. With the exception of the source water pump station and water tank, the majority of the TWP is underground including the water pipeline and underground appurtenances that would not be susceptible to wildfires.

Based on Larimer County GIS data downloaded August 2016 from Larimer County's GIS Digital Data and shown in **Figure 8.c-2**, the majority of the TWP corridor is located in a low geologic hazard category. The TWP corridor crosses two Moderate Class 3 and 4 geologic hazard areas: one just south of Timnath Reservoir and the other south of the Cache la Poudre River. The area south of Timnath Reservoir can generally be described as marshy with wetlands. A mitigation measure that could be implemented at this location includes installing the water pipeline using trenchless construction methods. The area south of the Cache la Poudre River is located in a bluff area with sandy soils and increased sloughing. Mitigation measures in this area may include, but are not limited to, the following:

- Stream and bank stabilization methods such as riprap protection or concrete mats
- Imported backfill material such as low-strength concrete
- Revegetation
- Soil erosion blankets during construction
- Trenchless construction methods
- Locating the final alignment outside of the geohazard area if possible, but still within the TWP corridor

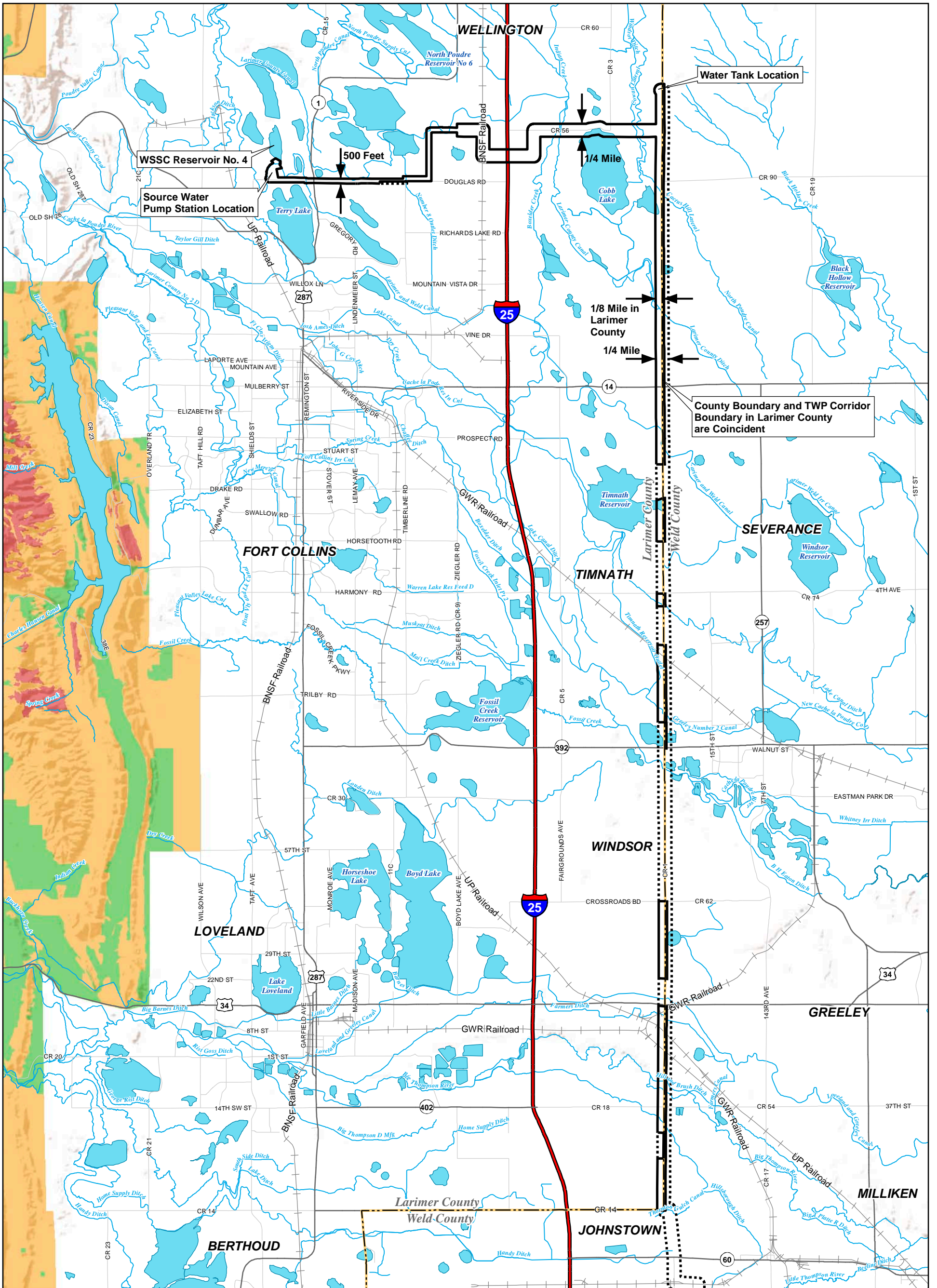
Mitigation measures will be implemented in areas outside of any jurisdictional waters.

The TWP corridor crosses several locations defined as Severe Class 5, 6, and 7 geologic hazard areas. These locations are associated with major drainages such as the Cache la Poudre River, Big Thompson River, and their feeder streams, such as Boxelder Creek. These locations generally correspond to areas of greater slope and soil erodibility. These geologic hazard areas could be mitigated by implementing measures similar to those described for Moderate Class 3 and 4 areas depending on specific conditions at each location.

Jurisdictional waters will be crossed using trenchless construction methods.

A subsurface geotechnical investigation of geologic conditions utilizing soil borings will be completed during design to further determine the subsurface soil conditions and associated geological hazards along the TWP corridor. Mitigation measures will be further refined during design to meet site-specific geological hazards.

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0 0.9 1.8
Miles

1 in = 1.8 miles

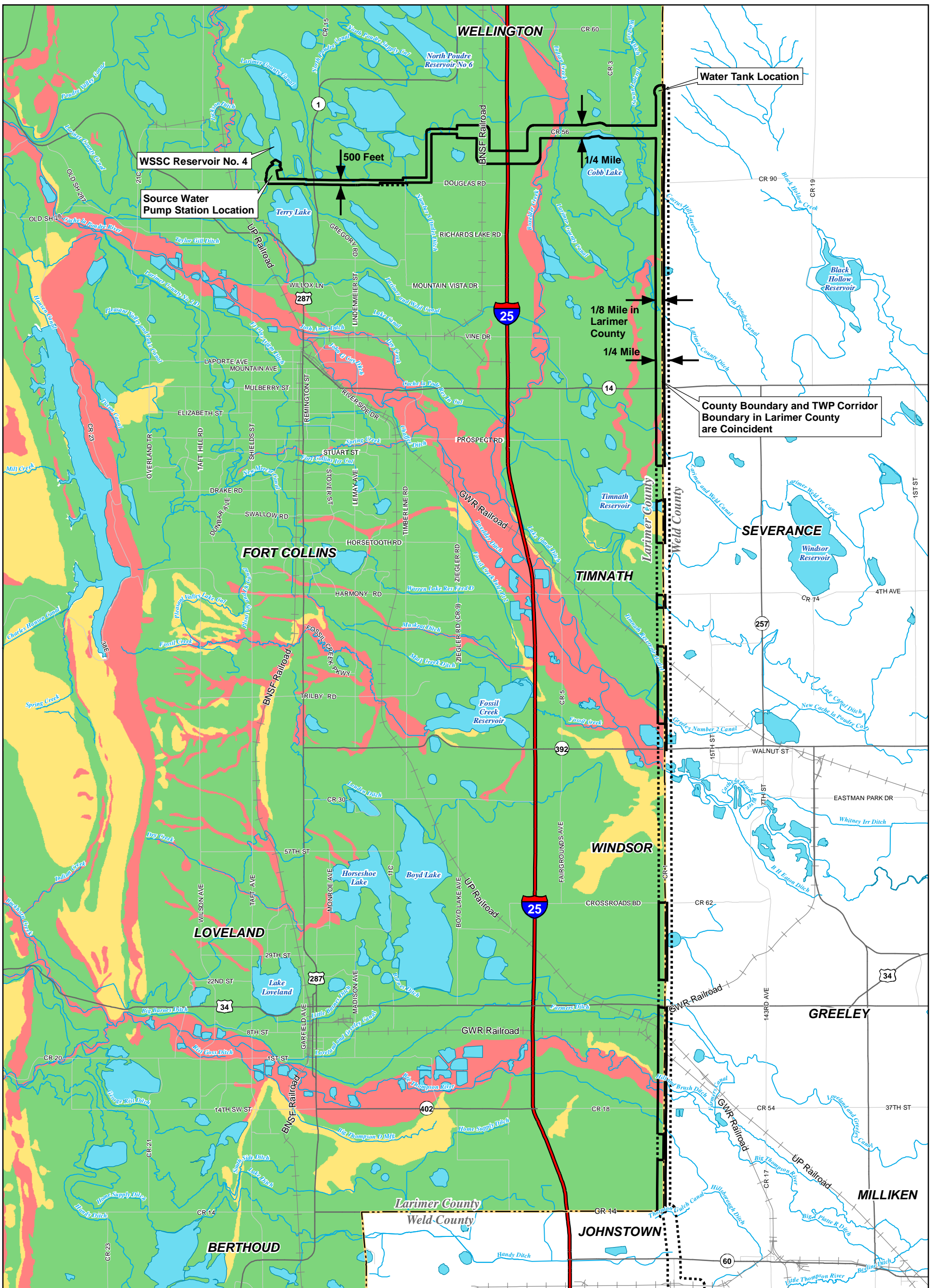
- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- Lake/Reservoir
- River/Stream/Canal/Ditch


- WildFire Hazard Area
- Very High Hazard
- High Hazard
- Moderate Hazard
- Low Hazard
- Outside Hazard Mitigation Area

**Figure 8.c-1
Wildfire Hazards**

Sources: NHD, CDWR, Larimer and Weld Counties, CDOT

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<ul style="list-style-type: none"> TWP Corridor in Unincorporated Larimer County TWP Corridor outside Unincorporated Larimer County County Boundary Railroad Lake/Reservoir River/Stream/Canal/Ditch 	<p>Geologic Hazard</p> <ul style="list-style-type: none"> Severe (Class 5, 6, 7) Moderate (Class 3, 4) Low
--	---

**Figure 8.c-2
Geologic Hazards**

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT

Section 8 Technical Reports

8.d Traffic Impact Study

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 8.d, and the criteria and standards described in LUC Sections 8.1, 14.10.D.6, 14.10.D.8, 14.10.D.9, and 14.10.D.11.

General Transportation Information

The TWP corridor ranges from 500-feet to ¼-mile wide to accommodate the water pipeline and appurtenances. The final water pipeline alignment will be developed during final design. Typically a 50-foot permanent easement for the water pipeline and a 40-foot temporary construction easement will be purchased from property owners. The TWP corridor width varies to allow for flexibility when developing the final water pipeline alignment and location of appurtenances as described in Section 2: Project Description.

Where the corridor parallels Douglas Road and County Road 56, the water pipeline is proposed to be located in the Larimer County ROW where feasible and as approved by Larimer County. However, in the event that the location of the water pipeline cannot be accommodated in Douglas Road or County Road 56 ROW, easements will be purchased from property owners to locate the water pipeline on private property.

Thornton understands that, if the TWP is located parallel to and within the Larimer County ROW other than as specifically approved in a 1041 permit, then use of that ROW will require Larimer County approval. Other Larimer County municipalities have variously indicated preferences both for the TWP to be located inside and outside of ROW within their municipal boundaries. Thornton will coordinate with these municipalities and Larimer County as appropriate.

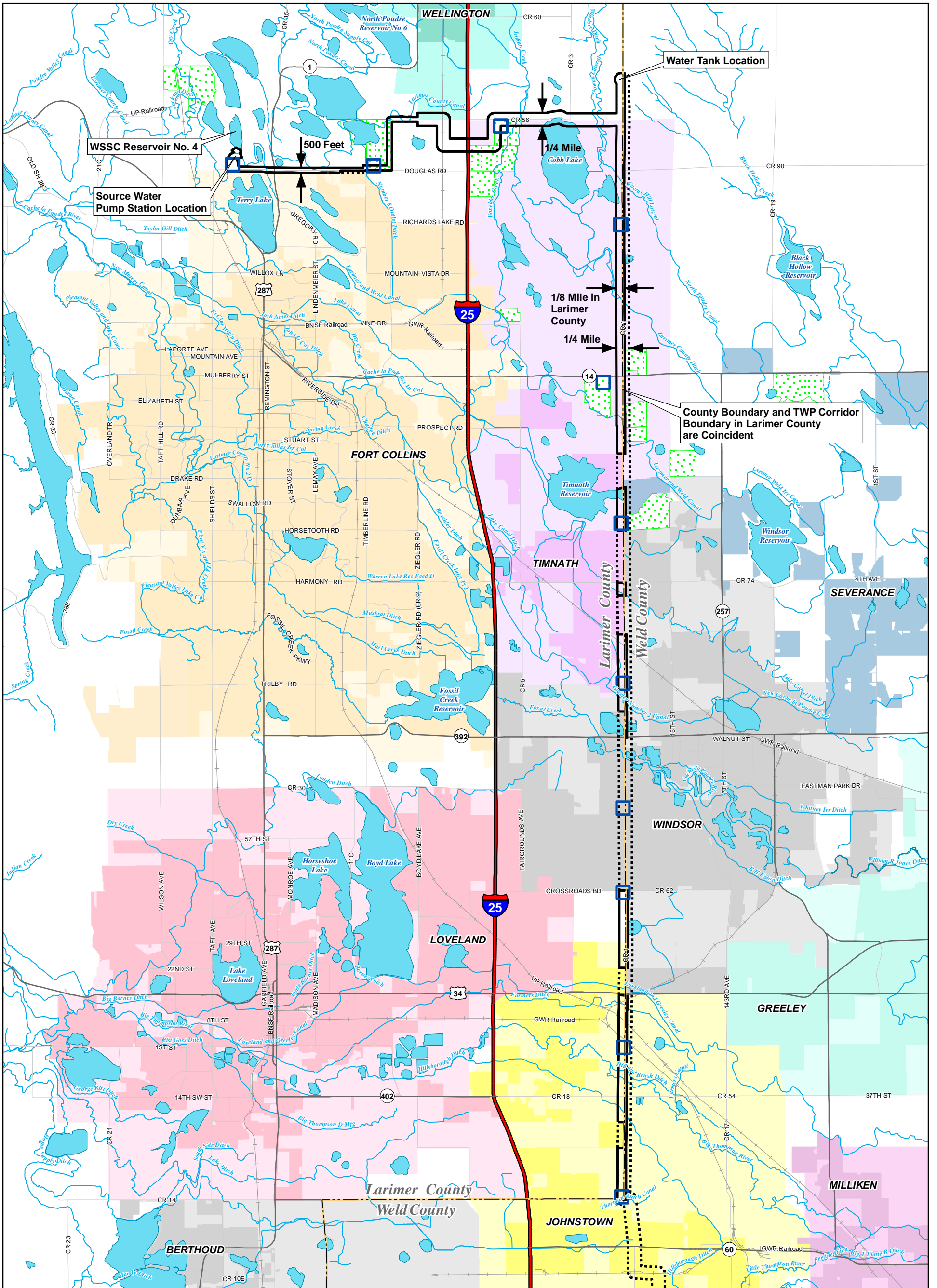
The TWP corridor, shown in **Figure 8.d-1**, includes a section that generally runs in an east/west direction and a section that generally runs in a north/south direction.


The east/west section of the TWP corridor is approximately 10 miles long, extending east in unincorporated Larimer County north of Fort Collins from WSSC Reservoir No. 4, then across Interstate 25 to Larimer County Road 1. The TWP corridor is approximately 500-foot wide along Douglas Road to County Road 9. The TWP corridor is ¼-mile wide east of County Road 9 and generally follows roads and property lines.

The section of the TWP corridor that generally runs north/south in unincorporated Larimer County is ½-mile wide and approximately 16 miles long. Portions of the TWP corridor include approximately 10 miles are in incorporated areas of Fort Collins, Johnstown, Timnath, or Windsor, including roads that have been annexed by local governments and 6 miles are in unincorporated Larimer County. The TWP corridor follows County Road 1 from just south of County Road 58 to County Road 14. County Road 1 is the Larimer County/Weld County line and the full ¼-mile wide TWP corridor is centered on the County line, encroaching ½-mile into each county. The TWP corridor continues south of County Road 14 into Weld County and then into Adams County where it terminates at the Thornton water treatment plants.

The TWP corridor within Larimer County crosses the municipal boundaries of Fort Collins, Johnstown, Timnath, and Windsor, and the established Growth Management Areas (GMA) of Fort Collins, Johnstown, Timnath, Wellington, and Windsor.

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1 inch = 1.8 miles

0 0.9 1.8 Miles

<ul style="list-style-type: none"> TWP Corridor in Unincorporated Larimer County TWP Corridor outside Unincorporated Larimer County Railroad Thornton Farm County Boundary Lake/Reservoir River/Stream/Canal/Ditch Potential Staging Area 	<p>Boundaries Crossed by the Proposed Corridor</p> <p>Corporate Boundary</p> <ul style="list-style-type: none"> Fort Collins Johnstown Loveland Timnath Wellington Windsor <p>GMA Boundary</p> <ul style="list-style-type: none"> Fort Collins Johnstown Loveland Timnath Wellington Windsor
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**Figure 8.d-1
TWP Corridor Map**

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, City of Thornton

Table 8.d-1 presents the multiple roads within the TWP corridor and the ADT of those roads. The basis for the ADT data was developed using the Traffic Section ADT asset layer from the *Larimer County Road Information Maps, 2014-2016* and Colorado Department of Transportation Online Transportation Information System as applicable.

TABLE 8.d-1
Roadway Classifications and ADT

Roadway	Limits	Classification	ADT	Impact
Starlite Drive	WSSC Reservoir No. 4 to Douglas Road	Not Applicable (Road system: non-chargeable, not a mainline road, not a regional road, owned by public/general, gravel)	Not applicable	Is parallel to TWP corridor
State Highway 1	At Douglas Road	Minor Arterial/State Highway (Not maintained by Larimer County, not a mainline road, not a regional road, owned by Colorado Department of Transportation (CDOT))	5,600	Intersects TWP corridor
Eagle Lakes	At Douglas Road	Not Applicable (Road system: non-chargeable, not a mainline road, not a regional road, owned by private)	Not Applicable	Intersects TWP corridor
County Road 13	At Douglas Road	Minor Collector (Road system: secondary, mainline road, not a regional road, owned by Larimer County)	230-275	Intersects TWP corridor
Bay Shore Road	At Douglas Road	Not Applicable (Road system: non-chargeable, not a mainline road, not a regional road, owned by public/general, paved)	Not Applicable	Intersects TWP corridor
Turnberry Road	At Douglas Road	Minor Collector (Road system: secondary, mainline road, not a regional road, owned by Larimer County, gravel)	100	Intersects TWP corridor
Swan Lake	At Douglas Road	Local (Road system: secondary, not a mainline road, not a regional road, owned by Larimer County, paved)	Not Applicable	Intersects TWP corridor
Point Drive	At Douglas Road	Not Applicable (Road system: non-chargeable, not a mainline road, not a regional road, owned by private)	Not Applicable	Intersects TWP corridor
Harbor Way	At Douglas Road	Local (Road system: non-chargeable, not a mainline road, not a regional road, owned by public/general, paved)	Not Applicable	Intersects TWP corridor
Terry Ridge Road	At Douglas Road	Local (Road system: not a mainline road, not a regional road, owned by Larimer County, paved)	Not Applicable	Intersects TWP corridor
Woodridge Road	At Douglas Road	Local (Road system: not a mainline road, not a regional road, owned by Larimer County, paved)	Not Applicable	Intersects TWP corridor

TABLE 8.d-1
Roadway Classifications and ADT

Roadway	Limits	Classification	ADT	Impact
La Mesa Drive	At Douglas Road	Not Applicable (Road system: non-chargeable, not a mainline road, not a regional road, owned by private)	Not Applicable	Intersects TWP corridor
S Bar G Lane	At Douglas Road	Not Applicable (Road system: not maintained by County, not a mainline road, not a regional road, owned by unknown)	Not Applicable	Intersects TWP corridor
Clyde Street	At Douglas Road	Not Applicable (Road system: non-chargeable, not a mainline road, not a regional road, owned by general/public, bladed)	Not Applicable	Intersects TWP corridor
Highland Drive	At Douglas Road	Not Applicable (Road system: non-chargeable, not a mainline road, not a regional road, general/public, bladed)	Not Applicable	Intersects TWP corridor
Kenyon Drive	At Douglas Road	Not Applicable (Road system: non-chargeable, not a mainline road, not a regional road, general/public, bladed)	Not Applicable	Intersects TWP corridor
Trouble Trail	At Douglas Road	Not Applicable (Road system: non-chargeable, not a mainline road, not a regional road, private)	Not Applicable	Intersects TWP corridor
Juanita Road	At Douglas Road	Not Applicable (Road system: non-chargeable, not a mainline road, not a regional road, general/public, bladed)	Not Applicable	Intersects TWP corridor
Twilight Lane	At Douglas Road	Not Applicable (Road system: non-chargeable, not a mainline road, not a regional road, private)	Not Applicable	Intersects TWP corridor
Douglas Road	North Shields Street (County Road 17 to Turnberry Road)	Minor Arterial (Road system: primary, mainline road, not a regional road, owned by Larimer County)	2,500-3,600	Is parallel to TWP corridor
County Road 54	At County Road 1	Local (Road system: secondary, mainline road, not a regional road, owned by Larimer County)	40	Intersects TWP corridor
County Road 56	County Road 11 to County Road 3	Minor Collector (Road system: secondary, mainline road, not a regional road, owned by Larimer County)	45-300	Is parallel to TWP corridor
County Road 56	Interstate 25 East Frontage Road to County Road 1	Major Collector (Road system: secondary, mainline road, not a regional road, owned by Larimer County)	75-300	Is parallel to TWP corridor
Giddings Road (County Road 9)	At County Road 56	Major Collector (Road system: primary, mainline road, not a regional road, owned by Larimer County)	2,100-2,300	Intersects TWP corridor

TABLE 8.d-1
Roadway Classifications and ADT

Roadway	Limits	Classification	ADT	Impact
Interstate 25	County Road 56 to County Road 54	Major Arterial/Interstate Highway (Not maintained by Larimer County, not a mainline road, not a regional road, owned by CDOT)	31,000	Intersects TWP corridor
County Road 3	At County Road 56	Major Collector (Road system: secondary, mainline road, not a regional road, owned by Larimer County)	120	Intersects TWP corridor
County Road 1	County Road 58 to State Highway 14 (Larimer/Weld County line)	Major Collector (Road system: secondary, mainline road, not a regional road, owned by Larimer County)	60-375	Is parallel to TWP corridor
County Road 1	State Highway 14 to East County Road 14 (Larimer/Weld County line)	Minor Arterial (Road system: secondary, mainline road, not a regional road, owned by Larimer County)	325-2,100	Is parallel to TWP corridor
County Road 52	At County Road 1	Major Collector (Road system: secondary, mainline road, not a regional road, owned by Larimer County)	275	Intersects TWP corridor
County Road 48	At County Road 1	Major Collector (Road system: primary, mainline road, not a regional road, owned by Larimer County)	1,600	Intersects TWP corridor
State Highway 14 (Mulberry Street)	At County Road 1	Major Arterial (Not maintained by Larimer County, not a mainline road, not a regional road, owned by CDOT)	10,000	Intersects TWP corridor
Prospect Road	At County Road 1	Major Collector (Road system: secondary, mainline road, not a regional road, owned by Larimer County)	1,200	Intersects TWP corridor
County Road 40	At County Road 1	Local (Road system: secondary, mainline road, not a regional road, owned by Timnath)	Not applicable	Intersects TWP corridor
Harmony Road	At County Road 1	Minor Arterial (Road system: primary, mainline road, not a regional road, owned by Timnath)	13,000	Intersects TWP corridor
County Road 36	At County Road 1	Local (Road system: secondary, mainline road, not a regional road, owned by Timnath)	Not applicable	Intersects TWP corridor
County Road 32E	At County Road 1	Major Collector (Road system: secondary, mainline road, not a regional road, owned by Larimer County)	2,900	Intersects TWP corridor

TABLE 8.d-1
Roadway Classifications and ADT

Roadway	Limits	Classification	ADT	Impact
State Highway 392	At County Road 1	Minor Arterial (Not maintained by County, not a mainline road, not a regional road, owned by CDOT)	19,000	Intersects TWP corridor
Crossroads Boulevard	At County Road 1	Minor Arterial (Road system: secondary, mainline road, regional road, owned by Larimer County)	9,500	Intersects TWP corridor
US 34	At County Road 1	Major Arterial (Not maintained by Larimer County, not a mainline road, not a regional road, owned by CDOT)	45,000-46,000	Intersects TWP corridor
County Road 20C	At County Road 1	Local (Road system: secondary, mainline road, not a regional road, owned by Larimer County)	110	Intersects TWP corridor
County Road 18/ State Highway 402	At County Road 1	Minor Arterial (Road system: primary, mainline road, regional road, owned by Larimer County)	3,500	Intersects TWP corridor
County Road 16 (Chapman Road)	At County Road 1	Major Collector (Road system: secondary, mainline road, not a regional road, owned by Johnstown)	450	Intersects TWP corridor
County Road 14/ Weld County Road 50	At County Road 1	Minor Collector (Road system: secondary, mainline road, not a regional road, owned by Larimer County)	Not applicable	Intersects TWP corridor

Multiple locations within the TWP corridor require railroad crossings. Railroad crossings will be coordinated with the applicable railroad operator and required license agreements will be obtained from the appropriate railroad company. **Table 8.d-2** presents a description of the railroads within the TWP corridor; **Figure 8.d-2** shows the locations of the railroads.

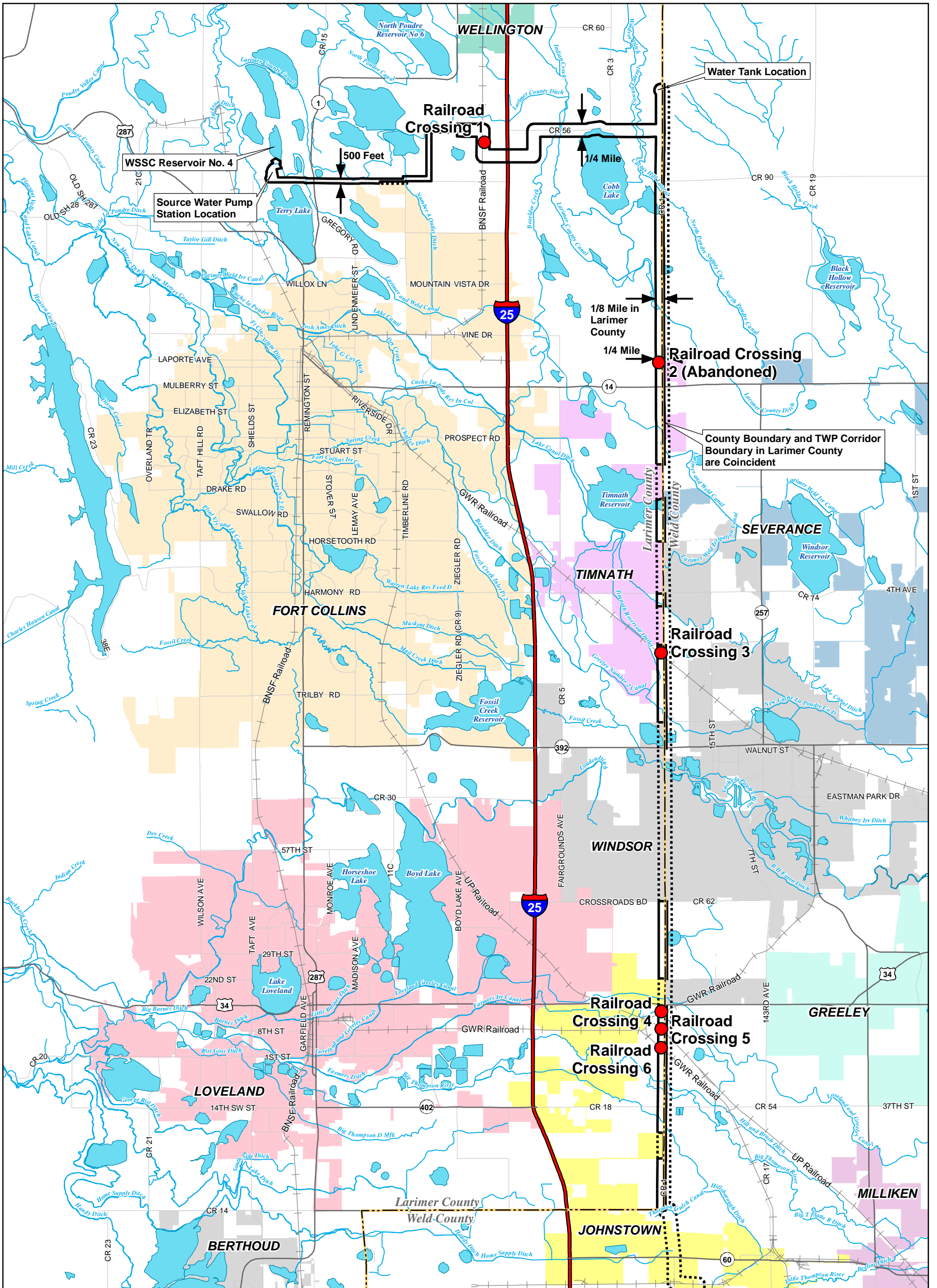
TABLE 8.d-2
Railroads within TWP Corridor

Crossing No.	Location	Class	Operator
1	West of Interstate 25 between County Road 56 and Douglas Road	Class 1	BNSF Railway
2	Is parallel to/crosses County Road 1 north and south of State Highway 14	Abandoned	This railway is abandoned and it is unclear whether remnants of track remain.
3	Crosses County Road 1 between Twin Bridge Drive and County Road 32E	Class 3	Great Western Railway
4	Crosses County Road 1 just south of US 34	Class 3	Great Western Railway

TABLE 8.d-2
 Railroads within TWP Corridor

Crossing No.	Location	Class	Operator
5	Crosses County Road 1 approximately 2,500 feet south of Crossing 4	Class 1	Union Pacific Railroad
6	Crosses County Road 1 approximately 2,000 feet south of Crossing 5	Class 3	Great Western Railway

Thornton Water Project



Water Tank Location

Railroad Crossing 1

WSSC Reservoir No. 4

Source Water Pump Station Location

500 Feet

1/8 Mile in Larimer County

1/4 Mile

Railroad Crossing 2 (Abandoned)

County Boundary and TWP Corridor Boundary in Larimer County are Coincident

FORT COLLINS

Railroad Crossing 3

Railroad Crossing 4

Railroad Crossing 5

Railroad Crossing 6

GREELEY

LOVELAND

JOHNSTOWN

MILLIKEN



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1 in = 1.8 miles
0 0.9 1.8 Miles

- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- Lake/Reservoir
- River/Stream/Canal/Ditch
- Railroad Crossing

**Figure 8.d-2
Railroad Crossings**

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT

Larimer County Transportation Master Plan

The TWP was reviewed in conjunction with the area goals and transportation improvement plans outlined in the *Larimer County Transportation Master Plan*, adopted in July 2017. The *Larimer County Transportation Master Plan* identifies multiple road improvement projects within the area along the TWP corridor. Thornton will coordinate design efforts with Larimer County improvement projects to minimize conflicts with future plans. If Larimer County's improvement projects occur within the timeframe of the construction of the TWP, Thornton will work with Larimer County and other involved parties to coordinate construction and minimize disruption. The *Larimer County Transportation Master Plan* includes planned improvements for Douglas Road within the TWP corridor. To the extent feasible, Thornton will coordinate TWP construction activities with Larimer County's planned improvements for Douglas Road.

Short-range transportation improvement projects identified in the *Larimer County Transportation Master Plan* that overlap the TWP corridor include the following:

- Pave County Road 1 from County Road 14 to Surface Change South of County Road 18
- Pave County Road 1 from County Road 32E to County Road 36

Long-range transportation improvement projects that overlap the TWP corridor as described in the *Larimer County Transportation Master Plan* include the following:

- Widen to 3 lanes County Road 1 from County Road 14 to US 34
- Widen to 3 lanes County Road 1 from End Johnstown CL to Crossroads Boulevard
- Reconstruct County Road 1 from State Highway 392 to County Road 32E
- Widen to 3 lanes County Road 1 from 32E to County Road 36
- Pave County Road 1 from End Timnath CL to Prospect Road
- Pave County Road 1 from State Highway 14 to County Road 62
- Pave County Road 3 from County Road 56 to County Road 58
- Pave County Road 13 from County Road 52H to Douglas Road
- Widen to 3 lanes County Road 18 from County Road 3 to County Road 1
- Pave County Road 52 from County Road 3 to County Road 1
- Reconstruct Douglas Road (County Road 54) from County Road 17 to State Highway 1
- Reconstruct intersection Douglas Road and State Highway 1 (CDOT Region 4 Priority Ranking 21)
- Pave County Road 56 from I-25 East Frontage Road to Surface Change
- Pave County Road 56 Surface Change to County Road 1

Other Considerations

Traffic impacts due to construction and post-construction operation of the water pipeline and appurtenances have been considered. Thornton places a high priority on safety during construction. TWP contractors will implement traffic management plans based upon local traffic control requirements and general safe operating practices. Any areas impacted during construction will be restored to pre-construction conditions upon completion of the TWP. Traffic impacts after completion of the construction of the TWP are expected to be limited as the facilities will be unmanned and operations will require minimal traffic. Therefore, no level-of-service calculations or traffic modeling have been performed; however, the following elements are discussed in this section:

- Trip Generation
- Project Access
- Possible Delivery and Commuting Routes
- Material Storage
- Parking and Vehicle Storage
- Construction in ROW
- Permits

Trip Generation

During the construction phase of the TWP, trip generation will be primarily related to construction activities, including delivery of materials and equipment, worker transport, and water pipeline and appurtenances installation. Types of construction vehicles accessing the construction area will likely include those presented in **Table 8.d-3**.

TABLE 8.d-3
 Anticipated Construction Vehicles

Construction Phase	Vehicle
Preparing the TWP Easements for Construction	Equipment Transport Truck
	Dump Truck
	Loader
	Trackhoe
	Motor Grader
	Crew Truck
	Service Truck
	Inspection Vehicle
Pipeline Trenching and Installation	Pipe/Material Hauling Truck
	Equipment Transport Truck
	Pipe Installation Crew Truck
	Inspection Truck
	Concrete Truck
	Trackhoe
	Loader
	Dump Truck
	Welding Truck
	Water Truck
Backfilling	Equipment Transport Truck
	Dump Truck
	Loader
	Trackhoe
	Crew Truck
	Inspection Truck
	Concrete Truck
	Water Truck
	Compaction Equipment

TABLE 8.d-3
 Anticipated Construction Vehicles

Construction Phase	Vehicle
Re-grading/Reseeding	Equipment Transport Truck
	Motor Grader
	Reclamation Vehicle
	Crew Truck
	Inspection Vehicle
	Water Truck

Construction activities are proposed to begin in 2018, and are expected to last approximately 5 to 7 years with operation of the TWP scheduled to begin in 2025. Construction of multiple water pipeline construction packages, trenchless water pipeline packages, source water pump station, and water tank may occur concurrently along the TWP corridor. Depending on the size and scope of individual construction packages, the timeframe to complete construction of a package could be multiple years. Construction of each water pipeline mile is expected to last between 4 and 10 weeks not including revegetation or ROW restoration activities.

Trip generation will vary according to the phase and location of construction. On average, five to ten trips per day to the site are expected for each type of vehicle: pickup trucks, welding trucks, pipe/material hauling trucks, water trucks, and equipment transport trucks for each construction package. Construction work hours will typically be from 7 a.m. to 7 p.m. Monday through Saturday unless otherwise approved by Larimer County. Construction may extend beyond these hours on an as-required and case-by-case basis. For example, some construction activities, such as hydrostatic testing, require 24/7 operation, and shift work may be required.

Construction of multiple water pipeline construction packages, trenchless water pipeline packages, source water pump station, and water tank may occur concurrently with multiple crews of 10 to 55 workers each. At the peak of construction approximately 80 to 100 workers total could be required at various sites along the TWP.

Post-construction trip generation will be primarily related to the operation and maintenance of the TWP. Normal operations and maintenance activities could include TWP operators periodically traveling in a pickup truck to the source water pump station or water tank location, and along the water pipeline route for a visual inspection. To the extent practicable, visual inspections could be from public roads to minimize impacts to property owners.

Project Access

Access along the final water pipeline alignment will be along roadways, at existing access locations when practicable, or via properties owned by Thornton that are within the construction work limits. New access locations are anticipated to be required for temporary and permanent use. Thornton will obtain individual Larimer County, CDOT, and other municipal access permits for any necessary temporary and permanent access locations as applicable. If access is needed using private roads or drives, Thornton will negotiate use with owners. Stabilized construction entrances/exits will be installed, as necessary, at the intersections of the TWP temporary access roads with paved roads. Permanent access locations will be designed per municipal standards based on location of access. Temporary access will be unpaved and used primarily for transport of materials and construction

workers. Temporary and permanent access locations will be closed to the public. Temporary access locations could include warning signs, flaggers, and controlled access, as necessary. Additionally, gates or other approved barriers on temporary access roads may be utilized when construction workers are not present to control unauthorized access. Temporary access locations will be restored to pre-construction conditions upon the completion of construction.

It is anticipated that access to the final water pipeline alignment will be required along Interstate 25 frontage roads, Douglas Road, County Road 56, and County Road 1. Other potential access locations, depending on the final water pipeline alignment, could be required along other local roads. Starlite Drive could provide access for construction vehicles during construction of the water pipeline, connection to WSSC Reservoir No. 4, and for future maintenance as necessary. Starlite Drive is a private gravel road and, if used, use of this road will be negotiated with the owner.

Access to the water tank location will be along County Road 1. A new permanent gravel access will be built onto the parcel from County Road 1. This access will serve as the access for vehicles during construction as well as future maintenance. Future access requirements will be minimal as the water tank is anticipated to be unmanned with limited maintenance requirements.

Access to the source water pump station will be determined after the final site location has been determined. Access to the source water pump station is anticipated to be from Douglas Road but is dependent on the final location. The access and parking areas are anticipated to be gravel. Future access requirements will be minimal as this is anticipated to be an unmanned facility with limited maintenance requirements. Site access will be submitted for review to Larimer County with the Site Plan Review Permit application.

Possible Delivery and Commuting Routes

Truck haul routes for material deliveries from off-site locations will be chosen to facilitate safe and expedient delivery while minimizing traffic impacts. It is expected that the daily commuting route for construction workers would also follow the same roads as the truck haul routes to the construction site or temporary staging areas for parking. The major roads and highways within unincorporated Larimer County that could be utilized depending on the final water pipeline alignment and location of appurtenances for delivery of construction materials and construction worker trips as part of construction operations are presented in **Table 8.d-4**.

TABLE 8.d-4
Possible Delivery and Commuting Routes

Route Area	County or Major Roads	State Highways	Federal Highways
East/West Section	County Road 1, Giddings Road, Mountain Vista Drive, County Road 56, County Road 58, Douglas Road, Starlite Drive	State Highway 1	Interstate 25, Interstate 25 Northeast Frontage Road
North/South Section	County Road 1, County Road 52, County Road 18, East County Road 16, County Road 14, County Road 56, County Road 58, Prospect Road, Harmony Road, Crossroads Boulevard	State Highway 14 (Mulberry Street), State Highway 392	Interstate 25, Interstate 25 Northeast Frontage Road, US 34

Anticipated delivery and commuting routes are shown in **Figure 8.d-3**. It is not expected that any road improvements or closures would be required to facilitate the transport of materials. In the event that a closure is necessary, the duration of the closure will be minimized, and Larimer County standards and procedures will be followed.

Material Storage

The water pipeline and other materials are expected to be transported via truck haul routes to the temporary and permanent easement or temporary staging areas. Preliminary anticipated staging locations in and outside of unincorporated Larimer County are shown on **Figure 8.d-3**. Additional information on staging areas is described in Section 2, Project Description. When possible, Thornton plans to off-load and string water pipeline along the easements as it is delivered to reduce the number of trips required for material delivery. Thornton will comply with Larimer County regulations regarding material storage, transport, and land use.

Parking and Vehicle Storage

Parking and vehicle storage during construction will be primarily on property within the permanent or temporary easement or at temporary staging areas. Thornton owns multiple properties in the area that can be utilized for parking and staging, and additional staging areas could be obtained. When additional parking is required, Thornton will negotiate with property owners and commercial businesses to provide additional parking to avoid parking in the public ROW. Temporary staging areas and worker buses or shuttles may also be implemented to reduce traffic when practicable. Construction workers will be instructed to abide by applicable laws and regulations both while commuting to and working at the TWP sites.

The source water pump station and water tank locations are anticipated to have unpaved parking areas on-site for use during regular maintenance activities. Post-construction maintenance and regular use is not expected to require extended vehicle parking or storage at either location.

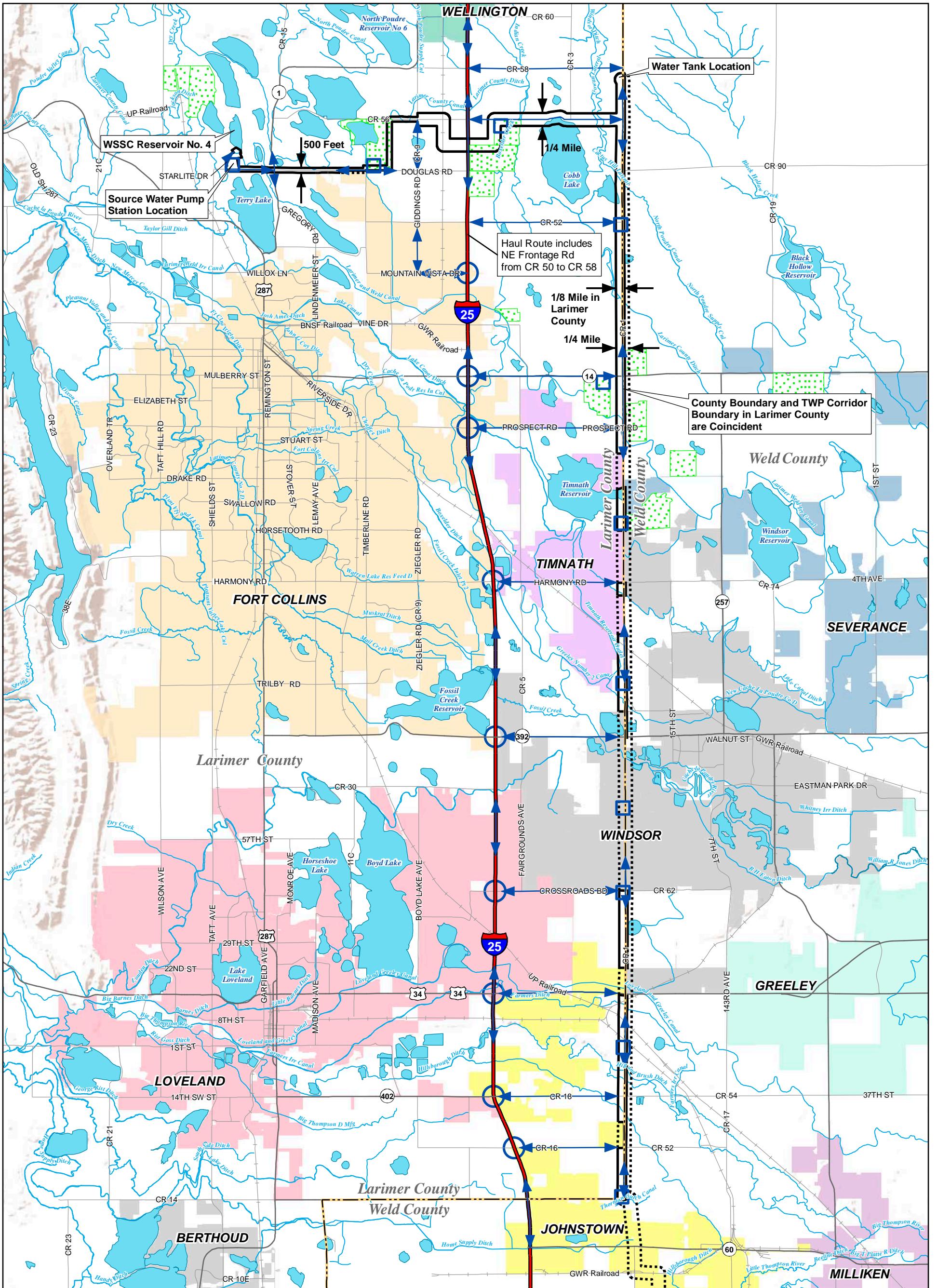
Construction in ROW


Road Crossings

Unless required otherwise by Larimer County, water pipeline road crossings including the appurtenant buried fiber optic cable in unincorporated Larimer County will be constructed using open-cut construction. Road closures with detour routes or partial road closures could be required. Larimer County standards will be followed, and permits will be obtained for any required closures. ROW will be restored to pre-construction conditions and in accordance with Larimer County standards.

The TWP construction will utilize trenchless construction methods to cross Larimer County roads where required by Larimer County. Where the corridor parallels Douglas Road and County Road 56, the water pipeline is proposed to be located in the Larimer County ROW where feasible and as approved by Larimer County, and the water pipeline is anticipated to be installed utilizing open-cut construction methods. Additional temporary construction easements could be required to accommodate trenchless construction methods. Where trenchless construction methods are used, shafts will be located on either side of the road for launching and receiving the water pipeline and the fiber optic cable. These shafts are expected to be located outside the ROW, if feasible. Equipment, pipe/materials, and temporarily stockpiled excavated material from the trenchless installation operation are expected to be stored on either side of the road. Larimer County standards will be followed, and permits will be obtained as required. Shafts will be backfilled and compacted, and affected areas will be restored to pre-construction conditions.

Thornton Water Project






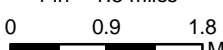
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1 in = 1.8 miles



0 0.9 1.8 Miles

<ul style="list-style-type: none"> TWP Corridor in Unincorporated Larimer County TWP Corridor outside Unincorporated Larimer County County Boundary Thornton Farm Railroad 	<ul style="list-style-type: none"> Lake/Reservoir River/Stream/Canal/Ditch Interstate 25 Exit Potential Staging Area Anticipated Major Haul Route
--	--

**Figure 8.d-3
Possible Delivery
and Commuting
Routes**

Pipeline Installation within ROW

Where the corridor parallels Douglas Road and County Road 56, the water pipeline and fiber optic cable are proposed to be located in the Larimer County ROW where feasible and as approved by Larimer County. However, in the event that the location of the water pipeline and fiber optic cable cannot be accommodated in Douglas Road or County Road 56 ROW, easements will be purchased from property owners to locate the water pipeline and fiber optic cable on private property within the TWP corridor. Full or partial road closures will be required for TWP installation in Larimer County ROW. Thornton will coordinate with Larimer County on road closures and required permits will be obtained. Restoration requirements within ROW will be coordinated with Larimer County during design development.

Outside of Douglas Road and County Road 56 the criteria for developing the final water pipeline alignment will include locating the water pipeline and appurtenances outside existing and future Larimer County ROW unless otherwise approved by Larimer County. Efforts to locate the TWP outside of environmentally sensitive areas or minimize disturbance to existing structures, such as homes, may require locating the water pipeline and fiber optic cable in Larimer County ROW for short distances. Thornton understands that, if the water pipeline and fiber optic cable are required to be located parallel to and within Larimer County ROW other than as specifically approved in a 1041 permit, then use of that ROW will require Larimer County approval. Full or partial road closures could be required for TWP installation in Larimer County ROW. Larimer County standards will be followed and permits will be obtained for any required closures. ROW will be restored to pre-construction conditions and in accordance with Larimer County standards.

Permits

Required access permits from Larimer County will be obtained for access from any Larimer County road prior to start of construction. Access permit application(s) will be submitted to the Public Works Department (Engineering). The TWP will abide by the Larimer County Access Policy (*Urban Area Street Standards* or *Rural Area Road Standards*) as applicable. Larimer County ROW permits will be obtained for road crossings and to construct the TWP within Larimer County ROW. Requirements and stipulations of the permits will be followed.

As part of the permit applications mentioned above, Thornton and/or the TWP contractors will develop detailed traffic control plans that include adequate levels of service and safety measures for construction. Sample road closure types that may be implemented, as required, are shown in **Figure 8.d-4**. Access will be maintained to local area residents. Emergency vehicle access needs will be maintained and construction activities coordinated with local fire departments, police departments, ambulance services, and other emergency responders as necessary. **Figure 8.d-4** sample road closures show closures that could be implemented at water pipeline road crossings to maintain access to local area residents and emergency responders. Water pipeline could be constructed with full road closure and construction of a temporary diversion or partial closures (with or within diversion) with pipeline construction occurring in one lane at a time.

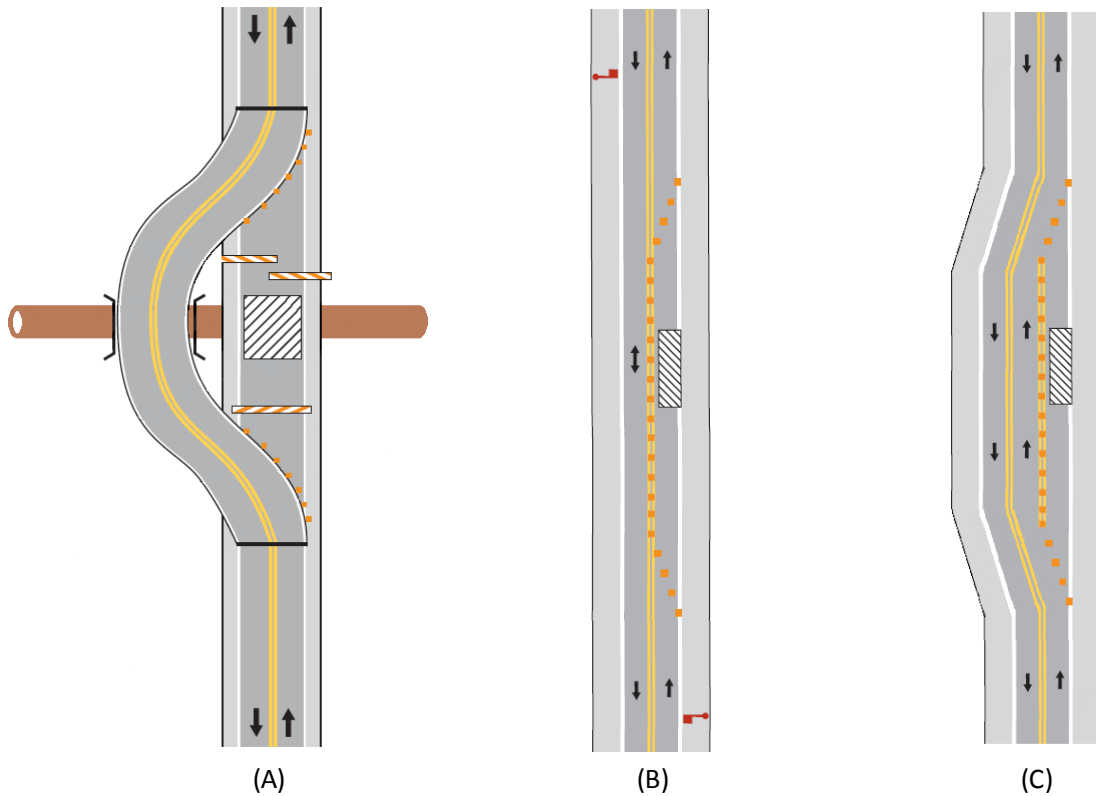


FIGURE 8.d-4

(A) Road Closure with Diversion, (B) Partial Road Closure with Flaggers, (C) Road Closure with Diversion

Mitigation Measures

Thornton and/or the TWP contractors will implement traffic strategies to minimize or mitigate traffic disruption from construction activities that could include the following:

- To minimize impacts to public roads or bridges directly affected by the TWP, Thornton may provide maintenance as needed.
- To minimize conflicts between TWP traffic and local traffic, transport of materials could occur during off-peak hours when practicable. Movements of normal heavy trucks (not oversized) could also be minimized during peak hours to the extent possible. Delivery truck personnel and construction workers may be notified of potential height restrictions and overhead obstructions. Vehicles used for material transport will comply with *Larimer County Code of Ordinances Sec. 58-105* regarding the height, width, and length of vehicles, when practicable. If at any time vehicles of excess size or weight are required on Larimer County roads or bridges, permits will be obtained per the guidance of *the Larimer County Code of Ordinances*. Moving of any heavy equipment across railroad lines will comply with *Larimer County Code of Ordinances Sec. 58-53*. Further detailed delivery routes and concerns will be addressed during the detailed design phase of the TWP, including verification that bridge crossings on the delivery route have adequate strength and capacity.

- Traffic on County Road 1 may be controlled by a flagger or temporary traffic control signal to facilitate construction vehicles entering and exiting the road if sight distance is limited due to the existing topography of the roadway.
- Thornton will adhere to Larimer County limitations on road closures and construction during peak traffic hours, requirements regarding end-of-day conditions, and mandatory inspections. Whenever possible, the existing number of lanes will be maintained during construction. Temporary road closures or traffic control flaggers will be coordinated with Larimer County and local law enforcement. If speed limit reduction is required, such reduction will be in accordance with CDOT Form 586, *Authorization and Declaration of Temporary Speed Limits*. Traffic control measures such as traffic control flaggers, warning signs, lights, and/or barriers will be implemented to provide safety and efficient progression of traffic. Particular emphasis will be given to construction site access locations along Larimer County Road 1 near the water tank site where there is a large amount of existing truck traffic in the area and possibly a reduced sight distance at the access location.
- To minimize the impacts of construction on the local community, Thornton will coordinate with Poudre School District and Weld RE-4 School District regarding construction and haul routes and school bus traffic. However, the only buses operating along the TWP corridor are demand service responsive and are not anticipated to be adversely affected by the TWP construction.
- Construction within Larimer County ROW will conform to the *Larimer County Right-of-Way Permit Application and Construction Guidelines*.
- TWP contractors will use water trucks to control dust as necessary and will implement required dust control mitigation treatments. Post-construction, disturbed areas will be restored to their pre-construction condition and further dust control mitigation is not expected to be necessary.
- Stabilized construction entrances/exits will be installed, as necessary, at the intersections of the TWP temporary access roads with paved roads. Significant soil transferred onto paved roads will be removed as necessary to maintain the quality of county roads and state highways.
- Access will be maintained to local area residents. Emergency vehicle access needs will be maintained and construction activities coordinated with local fire departments, police departments, ambulance services, and other emergency responders as necessary.

Section 8 Technical Reports

8.e Drainage and Erosion Control Report and Plan

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 8.e, and the criteria and standards described in LUC Sections 8.1, 8.12, 14.10.D.3, 14.10.D.4, 14.10.D.6, 14.10.D.8, and 14.10.D.11.

As discussed during the Pre-Application Conference with Larimer County Planning staff on May 26, 2016, submission of a simplified drainage narrative would be sufficient with the application because the majority of the TWP site will be restored to pre-construction conditions and the TWP does not include many impervious areas.

Corridor and Existing Site Drainage

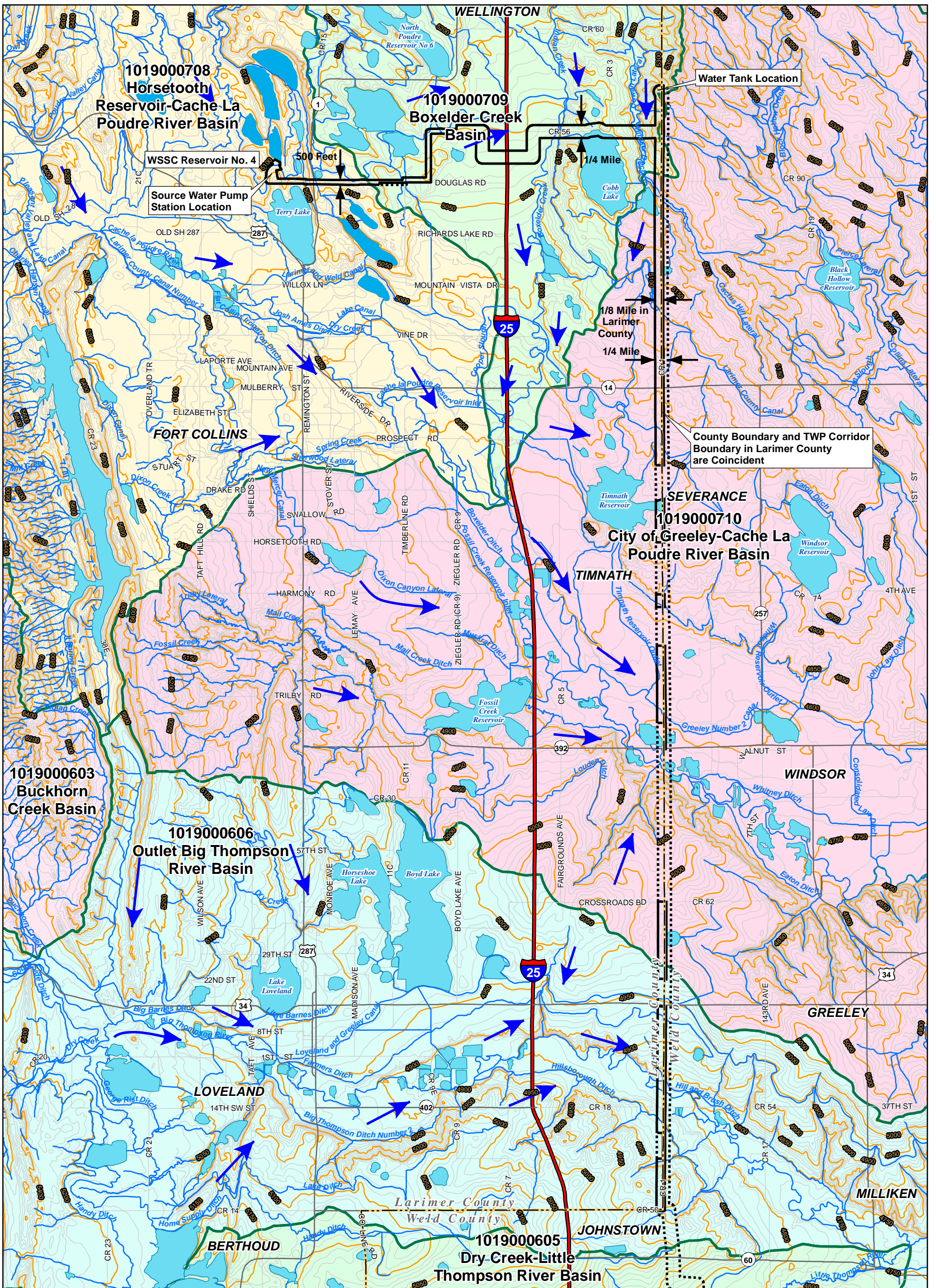
The TWP corridor is 500-feet to ¼-mile wide to accommodate the water pipeline and appurtenances. The final water pipeline alignment will be developed during final design. Typically a 50-foot permanent easement for the water pipeline and a 40-foot temporary construction easement will be purchased from property owners. The TWP corridor width varies to allow for flexibility when developing the final water pipeline alignment and location of appurtenances as described in Section 2: Project Description. The TWP corridor within unincorporated Larimer County spans four 10-digit hydrologic unit code (HUC) watersheds, as shown in **Figure 8.e-1**, HUC Watersheds. A Site Plan Review that will include the required drainage and erosion control plan will be submitted to Larimer County after design has progressed for the source water pump station. This narrative focuses on the TWP corridor for the water pipeline and appurtenances, including the water tank.


The western-most portion of the TWP corridor near the connection to WSSC Reservoir No. 4 is located in the HUC 1019000708 watershed, the Horsetooth Reservoir-Cache la Poudre River Basin. Land in this portion of the TWP corridor generally drains from north to south with the exception of the land immediately west and east of the relatively low-lying Black Lake, which generally drains from the east and west toward the lake. On average, topography slopes in this reach generally range from approximately 1 percent to approximately 8 percent. This portion of the TWP corridor crosses Jackson Ditch, Larimer County Canal, and potentially other ditches, tributaries, and drainageways.

The majority of the east-west portion of the corridor east of North County Road 13 is located in the HUC 1019000709 watershed, the Boxelder Creek Basin. This portion of the TWP corridor is generally south of Windsor Reservoir No. 8 and north of Cobb Lake, as shown in **Figure 8.e-1**. Topography in this portion of the TWP corridor generally drains from north to south with the exception of a north-south ridge that drains to the west and east. On average, topography slopes in this portion of the TWP corridor range from less than 1 percent to approximately 8 percent. This portion of the TWP corridor crosses Larimer County Canal, No. 8 Outlet Ditch, Larimer County Ditch, Boxelder Creek, Indian Creek, Cowan Lateral, Windsor Ditch, and potentially other ditches, tributaries, and drainageways.

The water tank appurtenance on the northern end of the TWP corridor is located near the border between the HUC 1019000709, Boxelder Creek Basin and 1019000710, City of Greeley-Cache la Poudre River Basin, as shown in **Figure 8.e-1**. The water tank site sits at a relatively higher elevation than other reaches of the TWP corridor. This portion of the TWP corridor generally drains from east to west at slopes ranging from approximately 4 to 8 percent.

Thornton Water Project






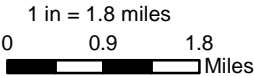
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1 in = 1.8 miles



0 0.9 1.8 Miles

- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Stream/River/Canal/Ditch
- HUC 10 Boundary
- ➔ Flow Direction
- 100ft Contour
- 20ft Contour

**Figure 8.e-1
Drainage and
Erosion Control**

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT

The majority of the north-south portion of the TWP corridor is in the HUC 1019000710 watershed, the City of Greeley-Cache la Poudre River basin. The direction of runoff varies in this portion of the corridor, as shown on **Figure 8.e-1**. Several local ridges and draws are interspersed with flatter areas. Average slopes vary from less than 1 percent to approximately 5 percent. This portion of the TWP corridor crosses Larimer County Canal, Cactus Hill Lateral, Larimer and Weld Irrigation Canal, Cache la Poudre Reservoir Inlet Canal, Lake Canal, Lake Canal Ditch, Windsor Reservoir Outlet, Timnath Reservoir, Timnath Reservoir Outlet, Greeley Number 2 Canal, Whitney Ditch, the Cache la Poudre River and tributaries, and potentially other ditches, tributaries, and drainageways.

The southern-most 4 miles of the TWP corridor within Larimer County, shown on **Figure 8.e-1**, are within the HUC 1019000606 watershed, the Outlet Big Thompson River Basin. Direction of runoff varies in this reach. Portions of the TWP corridor drain from north to south, other areas drain from south to north, and others from west to east across the corridor. Average slopes range from less than 1 percent to approximately 5 percent. This portion of the TWP corridor crosses the Loveland and Greeley Canal, Farmers Ditch, Hill and Brush Ditch, Hillsborough Ditch, the Big Thompson River and tributaries, and potentially other ditches, tributaries, and drainageways.

Construction Water Quality Management

Development of the final alignment will consider water pipeline construction locations that minimize impacts to historical surface and subsurface water flows in the TWP area. Water pipeline crossings of jurisdictional waters, including wetlands, will be constructed utilizing trenchless construction methods.

Prior to construction, Thornton and/or the TWP contractors will obtain a Stormwater Discharge Associated with Construction Activity - General Permits from the Colorado Department of Public Health and Environment (CDPHE). Construction Stormwater Management Plan(s) (SWMPs) will be developed under the general permit to protect the quality of stormwater runoff during construction in accordance with the Construction Stormwater Discharge Permit requirements. The SWMP(s) will detail the potential pollutants to stormwater anticipated to be associated with construction, and the associated construction stormwater best management practices (BMPs) to be implemented to protect the quality of stormwater runoff from TWP areas during construction. The SWMP will describe the inspection and maintenance procedures implemented on the site to maintain erosion and sediment control practices. Site inspections will be conducted to meet the requirements and schedules stipulated under the permit.

Construction wastewater associated with the potential dewatering of trenches will be handled in accordance with CDPHE permit discharge requirements. Prior to construction, Thornton and/or the TWP contractors will obtain a General Permit for Construction Dewatering Activities from CDPHE and specify the management measures to capture and manage any generated discharge.

The TWP will be hydrostatically tested prior to operation start up. Before discharge of hydrostatic test water from the water pipeline, Thornton and/or the TWP contractor will obtain a General Permit for Discharges from Hydrostatic Testing of Pipelines, Tanks, and Similar Vessels from CDPHE. Sampling and effluent limits will be in accordance with permit requirements.

Construction BMPs

Appropriate criteria manuals and standards will be used for the development of the SWMPs and selection of BMPs. Manuals may include the *Urban Storm Drainage Criteria Manual (USDCM) Volume 3, the City of Greeley's BMPs for Utility Planning and Construction Through Rural, Wetland, and Riparian Lands*, and/or other state and local guidance documents. Example descriptions of common construction BMPs that could be used on the project are provided for reference in **Appendix D**.

BMPs will also be deployed for construction dewatering activities, pursuant to the Construction Stormwater Discharge Permit and/or the Construction Dewatering Discharge Permit as appropriate for the site conditions and soil erodibility, to protect the quality of stormwater, surface water, and groundwater in the TWP corridor. See Section 8.g for descriptions of groundwater protection practices that could be used during construction.

BMPs will be implemented under the SWMP to minimize or mitigate soil erosion and revegetate disturbed areas. Soil erodibility along the TWP corridor is shown in **Figure 8.e-2**. The soil erodibility figure shows the Natural Resources Conservation Service (NRCS) K factor values. K factor values represent the susceptibility of soil erosion, transportability of the sediment, and the amount and rate of runoff given a particular rainfall event. The majority of the TWP corridor is located within the low-to-medium soil erodibility range. A low-to-medium soil erodibility factor indicates that slight to moderate erosion is likely and that erosion-control measures may be needed. A limited portion of the TWP corridor is located within the high soil erodibility range. High soil erodibility indicates that erosion is very likely and that erosion-control measures are advised, including revegetation of bare areas. Disturbed areas will be restored to pre-construction grades and revegetated at the conclusion of construction. Certified weed-free seed mix consisting of drought-tolerant native grasses will be specified in the SWMP for the revegetation of disturbed areas to meet property owner and regulatory requirements. Disturbed mature vegetation will be replaced, per a property owner's reasonable request, with a like species.

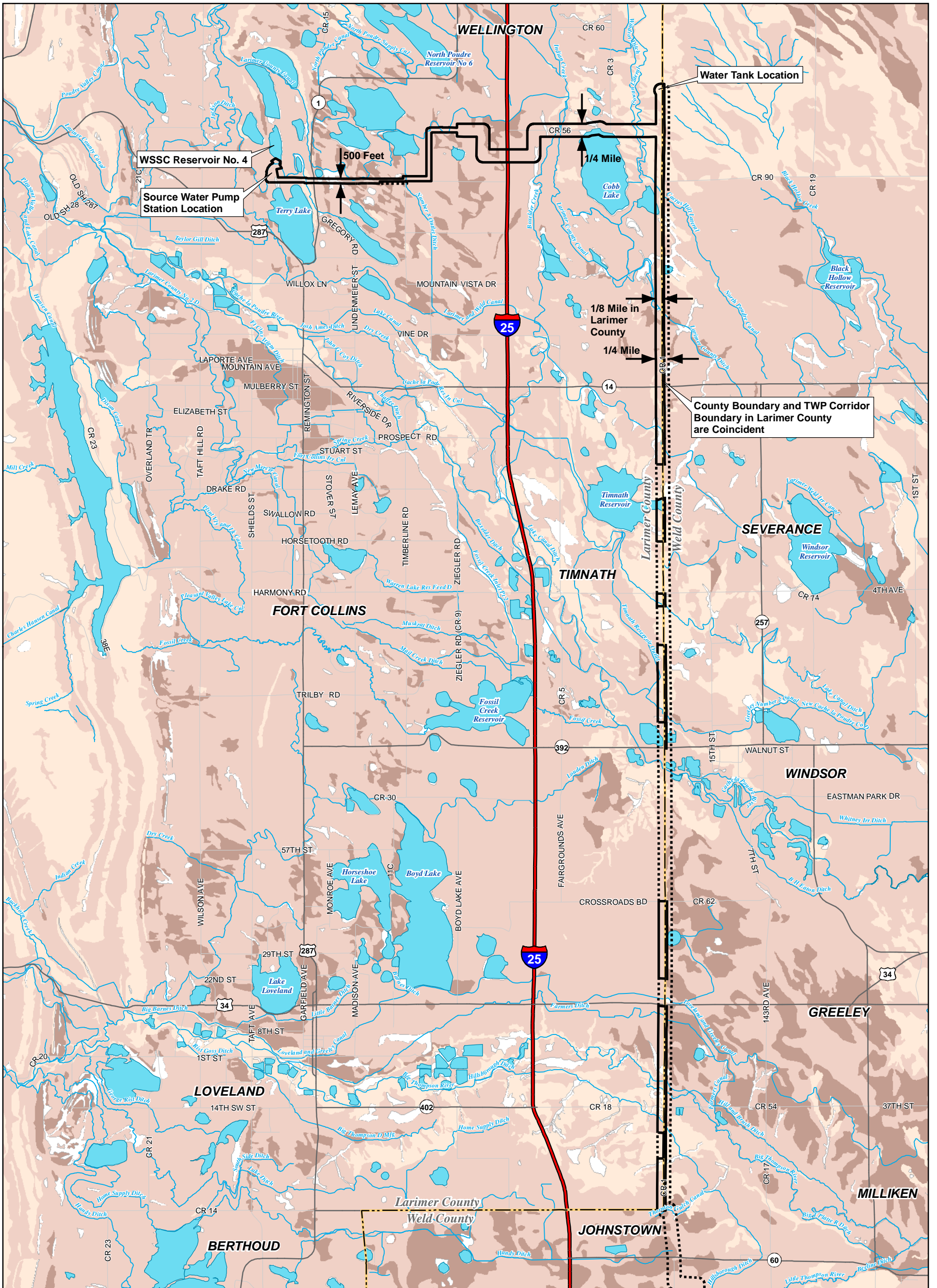
BMPs will be maintained and inspected. Failed BMPs will be replaced as required. After work is complete and final stabilization has been achieved, temporary BMPs will be removed. Final stabilization will be reached as defined in the Stormwater Discharge Associated with Construction Activity - General Permit.

Post-Construction Stormwater Runoff

The TWP corridor will be restored following construction to pre-construction grades and vegetation conditions with few exceptions. An example of an exception would be minor grading necessary following construction to restore a stable slope. In general, following TWP construction, the restored TWP corridor will drain in the same manner and at generally the same rate as it did prior to construction.

To mitigate impacts caused by erosion, landscaping for the TWP will consist of vegetation restoration and maintenance of areas disturbed by the TWP. Effects to vegetation along the easement areas will be temporary and mostly associated with construction. Potential future repairs and maintenance could affect discrete areas of vegetation so that the water pipeline and appurtenances may be accessed in a particular location. Any vegetated areas disturbed during maintenance or any required repairs will be restored by the methods used during construction.

Thornton Water Project



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1 in = 1.8 miles
0 0.9 1.8 Miles

- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Lake/Reservoir
- River/Stream/Canal/Ditch

- Soil Erodibility (K Factor)**
- No Value
 - Low (<0.20)
 - Medium (0.20 - 0.40)
 - High (>0.40)

**Figure 8.e-2
Soil Erodibility**

Water pipeline crossings of jurisdictional waters, including wetlands, will be constructed using trenchless construction methods. Irrigation ditches will be crossed using trenchless construction methods as required by ditch owner. Existing ditches, streams, and natural drainages will be preserved and no permanent effects on area drainage are anticipated.

Within urbanized areas subject to National Pollutant Discharge Elimination System (NPDES) and Colorado Discharge Permit System (CDPS) municipal separate storm sewer system (MS4) regulations, project components will be designed to address post-construction stormwater in a manner that complies with applicable requirements of the local MS4, including *Larimer County Stormwater Design Standards*. Portions of the TWP corridor are located within the boundaries of MS4 permitted areas in Larimer County.

Section 8 Technical Reports

8.f Floodplain Hydraulic/Hydrologic Modeling Report

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 8.f, and the criteria and standards described in LUC Sections 4.2.2, 14.10.D.3, 14.10.D.4, 14.10.D.6, 14.10.D.7, and 14.10.D.11.

The TWP corridor is 500-feet to ¼-mile wide to accommodate the water pipeline and appurtenances. The final water pipeline alignment will be developed during final design. Typically a 50-foot permanent easement for the water pipeline and a 40-foot temporary construction easement will be purchased from property owners. The TWP corridor width varies to allow for flexibility when developing the final water pipeline alignment as described in Section 2: Project Description. The TWP corridor crosses several designated 100-year floodplains as described herein and as shown on **Figure 8.f**, 100-Year Floodplains.

The TWP will not alter floodplains. The water pipeline will utilize trenchless construction methods under waterbody crossings such as Waters of the United States (jurisdictional waters), including streams, rivers, lakes, and wetland areas. Work conducted within the floodplain fringe areas will be restored to pre-construction conditions. Therefore, the TWP will mitigate impacts on the hydraulic and hydrology of the floodplain. Because impacts will be mitigated, no modeling has been conducted for this section. Thornton will obtain Floodplain Development permits and other approvals as required for floodplain crossings from Larimer County after design has progressed. Information will be provided to Larimer County as required to obtain permits.

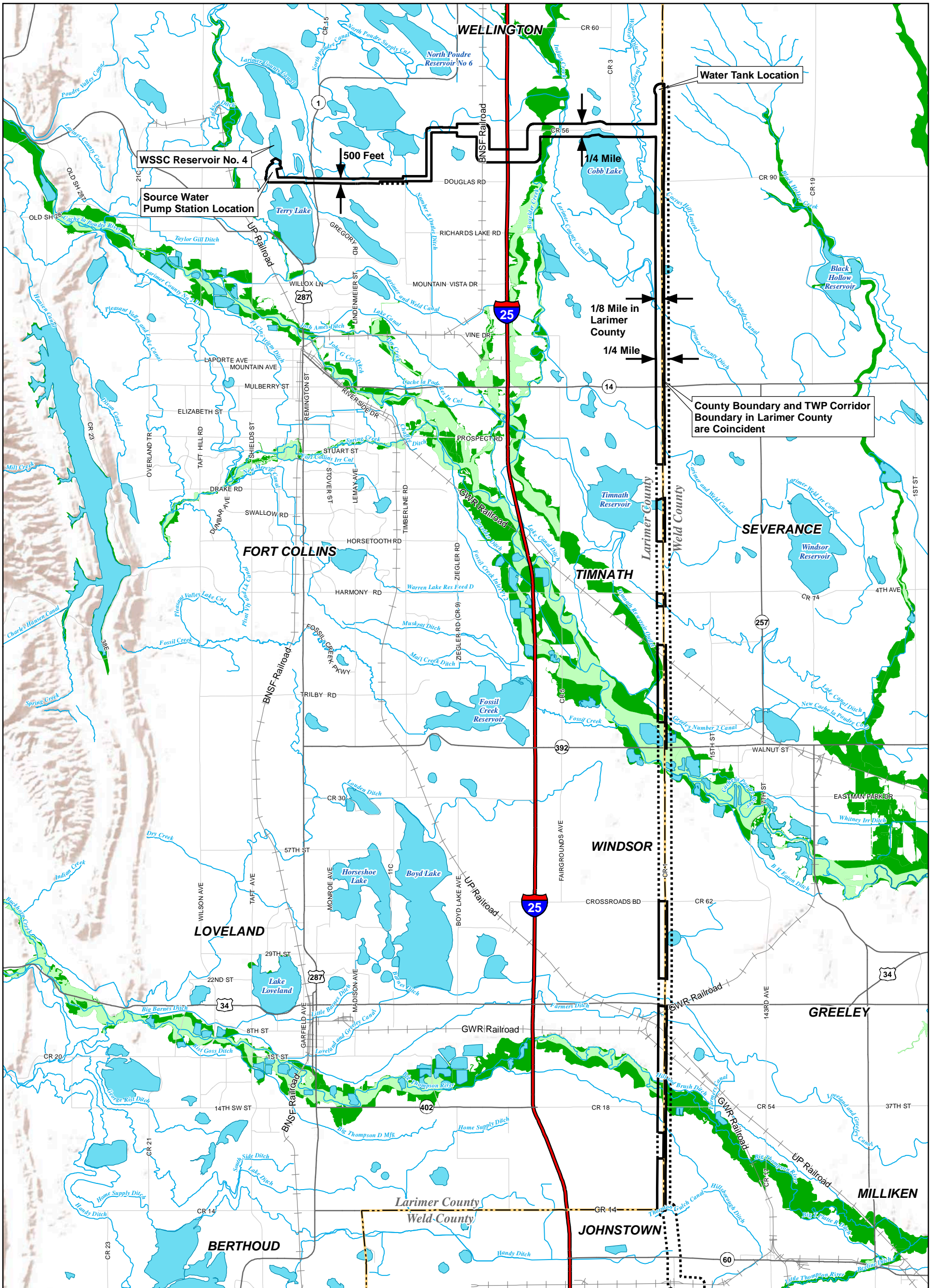
The TWP corridor crosses three designated 100-year floodplains in eastern Larimer County. Floodplain crossings information listed in this section were obtained from Larimer County and Weld County GIS data collected on July 18, 2016 from the online Larimer County Digital Data repository and November 2, 2016 from the online Weld County Downloadable Data repository. Floodplain crossings are shown on **Figure 8.f**, 100-Year Floodplains and identified below:

- Box Elder Creek east of I-25 near County Road 56
- Cache la Poudre River near Highway 392
- Big Thompson River near County Road 54

Floodplain crossings will utilize open-cut construction in the fringe area of the floodplain and trenchless construction methods under the ordinary high water mark and associated wetlands so that there will be no impact to jurisdictional waters. Spoils from trench excavations, construction-related equipment, materials, and supplies will be stored outside of the 100-year floodplain per local floodplain regulations. Fringe areas using open-cut construction will be restored to pre-construction grades and vegetation at the conclusion of construction.

Trenchless construction methods could include methods such as tunneling or auger boring techniques. Where trenchless construction methods are used, shafts will be located on either side of the water resource for launching and receiving the water pipeline and the fiber optic cable and will be located outside of the normal high water mark and associated wetlands. Shafts will be backfilled and compacted, and affected areas will be restored to pre-construction conditions. A geotechnical investigation of geologic conditions near crossing locations will be completed during design.

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0 0.9 1.8
Miles
1 in = 1.8 miles

- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- County Boundary
- Railroad
- Lake/Reservoir
- River/Stream/Canal/Ditch
- 100-yr Flood Fringe
- 100-yr Floodway

**Figure 8.f
100-yr Floodplain**

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, FEMA

Currently, no areas have been identified that may pose a risk to trenchless construction methods; however, should any such locations be identified throughout the geotechnical investigation, Thornton will consult with applicable parties as required, including the affected property owners, Larimer County, and other agencies to develop an alternative approach that will minimize impacts.

The general standards required per LUC Section 4.2.2 that are applicable to the TWP will be met and include the following:

- *4.2.2.D.1.a - All new construction or substantial improvements shall be designed (or modified) and adequately anchored to prevent flotation, collapse or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy.*

The water pipeline will be buried under floodplains. Buoyancy calculations will be conducted as part of design.

- *4.2.2.D.1.b - All new construction or substantial improvements shall be constructed by methods and practices that minimize flood damage.*

Floodplain crossings will utilize open-cut construction in the fringe area of the floodplain and trenchless construction methods under the ordinary high water mark and associated wetlands. Spoils from trench excavations, construction-related equipment, materials, and supplies will be stored outside of the 100-year floodplain per local floodplain regulations. Fringe areas using open-cut construction will be restored to pre-construction grades and vegetation at the conclusion of construction.

- *4.2.2.D.1.c - All new construction or substantial improvements shall be constructed with materials resistant to flood damage.*

Within areas designated as 100-year floodplains, the water pipeline will be constructed with materials resistant to flood damage, such as welded steel pipe or ductile iron pipe. Materials for appurtenances will include concrete, steel, cast iron, and ductile iron. Valves in manholes will include equipment capable of withstanding some water submersion.

- *4.2.2.D.3 All new and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the system.*

Within areas designated as 100-year floodplains, the TWP will be designed to minimize or eliminate infiltration of flood waters into the system through the use of watertight joints; manholes, and vaults will include watertight joints and waterproofing coatings.

- *4.2.2.D.5 - With the exception of critical facilities, outlined in subsection 4.2.2.E, new construction and substantial improvements of any commercial, industrial, or other nonresidential structure shall either have the lowest floor (including basement) elevated to the regulatory flood protection elevation or, together with attendant utility and sanitary facilities, be designed so that at the applicable flood protection elevation the structure is watertight with walls and openings substantially impermeable to the passage of water and with structural components having the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy. A registered Colorado Professional Engineer shall develop and/or review structural design, specifications, and plans for the construction, and shall certify that the design and methods of construction are in accordance with accepted standards of practice. Such certification shall be submitted to the floodplain administrator before a building permit will be issued.*

The water pipeline and appurtenances will be designed and constructed in accordance with accepted standards of practice. The water pipeline will be buried under floodplains. Buoyancy calculations will be conducted as part of design. Manholes and vaults located within areas designated as 100-year floodplains will include watertight joints and waterproofing coatings. Design and specifications will be completed by a registered Colorado Professional Engineer. Thornton will obtain Floodplain Development permits and other approvals as required for floodplain crossings from Larimer County after design has progressed. Information will be provided to Larimer County as required to obtain approvals.

- *4.2.2.D.9.c - All proposed development shall have public utilities and facilities such as sewer, gas, electrical and water systems located and constructed to minimize or eliminate flood damage.*

Within areas designated as 100-year floodplains, the water pipeline will be constructed with materials resistant to flood damage, such as welded steel pipe or ductile iron pipe. Manhole and vaults located within areas designated as 100-year floodplains will include watertight joints and waterproofing coatings.

- *4.2.2.D.9.d - All proposed development shall meet the floodplain development permit requirements of subsection 4.2.2.H.*

Thornton will obtain Floodplain Development permits and other approvals as required for floodplain crossings from Larimer County after design has progressed and information will be provided as required to obtain approvals.

- *4.2.2.D.14 - All activities shall meet all applicable federal, state and local floodplain requirements and regulations.*

Thornton will obtain Floodplain Development permits and other approvals as required for floodplain crossings from Larimer County as applicable after design has progressed and information will be provided to Larimer County as required to obtain approvals. Other applicable federal, state, and local floodplain requirements and regulations will be met.

- *4.2.2.D.19 - Outdoor storage or processing of materials that in time of flooding are buoyant, flammable, explosive, or could be injurious to human, plant or animal life is prohibited.*

Spoils from trench excavations, construction-related equipment, materials, and supplies will be stored outside of the 100-year floodplain per local floodplain regulations.

- *4.2.2.D.21 - Railroads, streets, roads, bridges, flood and water control structures, above and below ground utilities (excluding service connections), pipelines, marinas, boat rentals, docks, piers, and wharves, if allowed by underlying zoning shall be processed as a floodplain special review.*

Thornton will obtain Floodplain Development permits and other approvals as required for floodplain crossings from Larimer County after design has progressed and information will be provided to Larimer County as required to obtain approvals.

Section 8 Technical Reports

8.g Groundwater Modeling Report

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 8.g, and the criteria and standards described in LUC Sections 8.2, 8.12, 14.10.D.3, 14.10.D.4, and 14.10.D.11.

As discussed with Larimer County Planning staff at the Pre-Application Conference on May 26, 2016, a simplified groundwater report discussing construction methods and proposed best management practices (BMPs) to mitigate impacts to existing groundwater flow characteristics will meet the application submittal requirements.

Overview of Groundwater Aquifers

The TWP corridor is located within the South Platte River Basin, which comprises the northeastern quarter of Colorado, as shown in **Figure 8.g**. The major aquifers in the South Platte River Basin are alluvial aquifers associated with the South Platte River and its tributaries. The TWP corridor crosses through the Upper South Platte River Alluvium, which is specifically associated with the Cache la Poudre River, a river generally characterized as thin and discontinuous.

Groundwater levels vary along the TWP corridor within Larimer County with groundwater levels being higher around surface water sources such as unlined ditches, canals, reservoirs, lakes, and rivers and lower in areas farther away from surface water sources. In general, along the Interstate 25 corridor, which includes the TWP corridor, from Wellington south near Windsor and along Interstate 25 near Loveland, groundwater is anticipated to be less than approximately 20 feet below ground surface as identified in the *Groundwater Atlas of Colorado, Special Publication 53* published by Colorado Geological Survey, 2003. Along the other stretches of the TWP corridor, groundwater is generally expected to be found at depths greater than 20 feet below ground surface, although, as mentioned previously, higher groundwater levels may exist near surface water sources. The typical depth of bury for the water pipeline will be a minimum of 4 feet below grade. During the design phase, the depth to groundwater along the TWP corridor will be further identified and monitored through geotechnical investigations.

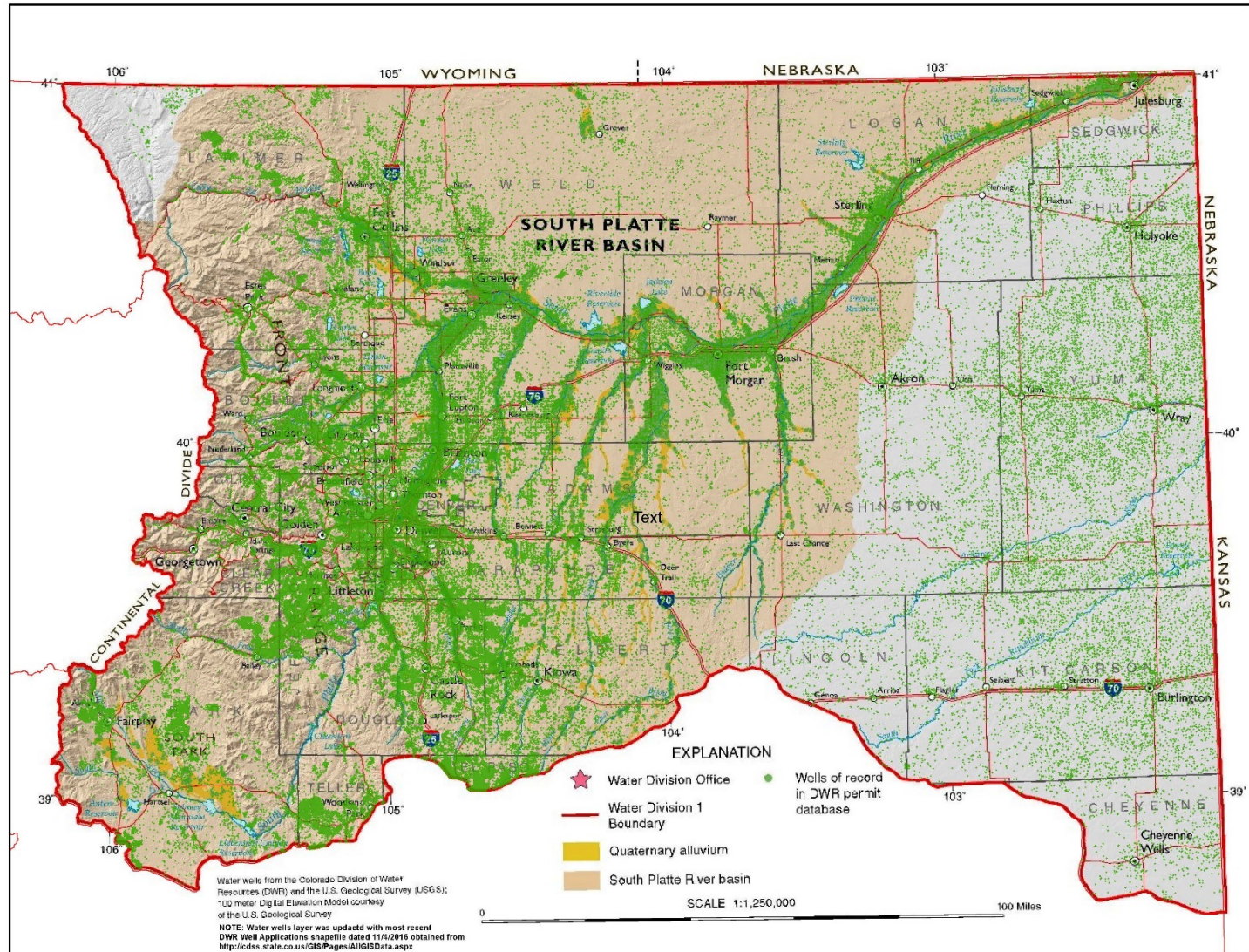


FIGURE 8.g
 South Platte River Basin and Associated Alluvial Aquifers

Construction and Long Term Mitigation Measures

Mitigation measures that could be implemented with the TWP to minimize impacts to groundwater include the following:

- Installation of trench plugs constructed of impervious materials such as bentonite, other clays, or controlled low-strength material within the water pipeline trench. Trench plugs serve as dams that mitigate groundwater flow paths that could develop through typical water pipeline bedding material. Trench plugs could be installed periodically along and perpendicular to the water pipeline to deflect flow into native ground to maintain the natural hydrology.
- Installation of an impervious water pipeline trench backfill material such as bentonite, other clays, or controlled low-strength material to mitigate groundwater levels and groundwater flow paths.
- Compacting backfill material and soil disturbed during trenching. Compact with a backhoe, vibration machine, rollers, or other equipment. Compaction requirements and testing would be specified in accordance with standards of practice.
- Installation of porous backfill material to allow natural groundwater flow paths to flow around the water pipeline.
- Dewatering groundwater in trench excavation prior to water pipeline installation. Groundwater encountered in the excavations will be addressed in accordance with CDPHE regulations and the requirements of the construction dewatering permits. Groundwater is likely to be collected and pumped into either temporary retention ponds, land applied, or routed to appropriate storm drains in accordance with the dewatering permits.

Additional example BMPs and descriptions that could be used on the TWP are provided for reference in **Appendix D**.

The mitigation measures to be implemented will be specified in the construction documents and will be developed as part of the design process, including evaluation of geotechnical investigations.

Section 8 Technical Reports

8.h Non-Subdivision Water Supply Inquiry

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 8.h, and the criteria and standards described in LUC Sections 8.1 and 14.10.D.8.

As discussed with Larimer County Planning staff at the Pre-Application Conference on May 26, 2016, the TWP facilities will be unmanned facilities and no permanent potable water source is anticipated to be needed; therefore, submission of a Non-Subdivision Water Supply Inquiry is not required.

Section 8 Technical Reports

8.i Simulation of the Appearance of the Facility

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 8.i.

As discussed with Larimer County Planning staff at the Pre-Application Conference on May 26, 2016, a Simulation of the Appearance of the Facility is not required. The water pipeline and most appurtenant infrastructure will be buried. Section 2: Project Description includes photos of similar projects' appurtenant facilities. No design has been completed for the source water pump station. Thornton will submit a Site Plan Review permit application to Larimer County in accordance with LUC Section 6.0.

Section 8 Technical Reports

8.j Computer Modeled Electromagnetic Field Measurements

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 8.j.

As discussed with Larimer County Planning staff at the Pre-Application Conference on May 26, 2016, submission of a Computer Modeled Electromagnetic Field Measurement is not required.

Section 8 Technical Reports

8.k Noise Analysis

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 8.k, and the criteria and standards described in LUC Sections 14.10.D.6 and 14.10.D.11.

During construction of the TWP, the TWP will comply with Larimer County's then-existing Noise Level Ordinance (currently Ordinance No. 97-03). Noise from construction equipment will be of short duration during construction. Noise levels from equipment will be controlled through the use of standard maintenance procedures and the use of appropriate mufflers. Construction hours will typically be from 7:00 a.m. to 7:00 p.m., Monday through Saturday unless otherwise approved by Larimer County. Construction may extend beyond these hours on an as-required and case-by-case approved basis. For example, some construction activities may be required to complete uninterruptible tasks, meet an in-service date, or minimize short-term impacts to traffic.

No noises related to the water pipeline and water tank operation are anticipated.

Source Water Pump Station

As discussed with Larimer County Planning staff at the Pre-Application Conference, the source water pump station is not part of this 1041 permit application, but will be separately permitted through the Site Plan Review permit process. Information on the source water pump station provided in this application is of a general nature and is included to present a more complete scope of the TWP. To date, no design has been completed for the source water pump station; Thornton will submit a Site Plan Review permit application to Larimer County in accordance with LUC Section 6.0. At the request of Larimer County staff, general information regarding noise and the source water pump station is provided.

Post-construction, noise at the source water pump station is anticipated to come from the permanent emergency backup generator if included, air conditioning unit(s), and from equipment inside the building such as pumps and motors. It may be possible for PVREA to extend a second, redundant power feed to the source water pump station for emergency backup power. If a second feed is feasible and cost-effective, an emergency diesel powered backup generator will not be required. Thornton will continue to coordinate with PVREA to determine specific requirements for power service to the source water pump station. Should on-site generation be chosen for backup power, a diesel generator would be required and will be operated only as needed for emergency backup power and for short durations for routine maintenance and testing. The source water pump station is anticipated to house pumps and associated equipment. The facility will be designed to meet the then-existing Larimer County Noise Level Ordinance. A Larimer County Site Plan Review permit application will be submitted to Larimer County for the source water pump station after design.

As TWP design progresses, an acoustical engineer will be engaged to evaluate noise mitigation measures for the source water pump station to meet the then-existing Larimer County Noise Level Ordinance. These may include, building acoustically rated walls, ceilings and doors in addition to attenuation for building louvers, heating, ventilation, and air conditioning (HVAC) equipment, and other building penetrations. If appropriate, absorptive interior acoustical treatments may be evaluated and emergency generator acoustical enclosures and exhaust silencing may be specified.

General Noise Information

Current Larimer County Code, Ordinance No. 97-03, establishes quantitative sound level limits for permanent or continuous operations. The code establishes the sound limits in A-weighted decibels (dBA) for residential property land use as follows:

- Maximum noise (dBA) 7:00 a.m. to next 7:00 p.m. – 55 dBA
- Maximum noise (dBA) 7:00 p.m. to next 7:00 a.m. – 50 dBA

Table 8.k, Typical Sound Levels Measured in the Environment and Industry, presents A-weighted sound levels associated with common sources of noise in the physical environment. Based on the table below, a qualitative description of Larimer County’s sound limits close to 50 and 55 dBA are light auto traffic (50 feet) and air-conditioning unit (20 feet).

TABLE 8.k
 Typical Sound Levels Measured in the Environment and Industry

Noise Source at a Given Distance	Sound Level in A-weighted Decibels (dBA)	Qualitative Description
Carrier deck jet operation	140	
	130	Pain threshold
Jet takeoff (200 feet)	120	
Auto horn (3 feet)	110	Maximum vocal effort
Jet takeoff (1,000 feet) Shout (0.5 foot)	100	
New York subway station Heavy truck (50 feet)	90	Very annoying; Hearing damage (8-hour, continuous exposure)
Pneumatic drill (50 feet)	80	Annoying
Freight train (50 feet) Freeway traffic (50 feet)	70 to 80 70	Intrusive (telephone use difficult)
Air conditioning unit (20 feet)	60	
Light auto traffic (50 feet)	50	Quiet
Living room Bedroom	40	
Library Soft whisper (5 feet)	30	Very quiet
Broadcasting/Recording studio	20	
	10	Just audible

Source: Adapted from Table E, “Assessing and Mitigating Noise Impacts” (New York Department of Environmental Conservation, 2001).

Section 8 Technical Reports

8.1 Air Quality Impact and Mitigation Report

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 8.1, and the criteria and standards described in LUC Sections 8.11, 14.10.D.3, 14.10.D.4, 14.10.D.6, and 14.10.D.11.

Larimer County requires that fugitive dust emissions be controlled during construction. The amount of surface clearing required for construction will exceed 25 acres; therefore, Thornton and/or the TWP contractors will develop a fugitive dust control plan, submit an air pollution emissions notice, and obtain a permit from CDPHE prior to construction activities in accordance with state air quality regulations. Construction is anticipated to be constructed under multiple packages; therefore, multiple permits will be obtained as required.

Construction activities, such as vehicles driven over cleared ground, general disturbance to vegetated areas, or soil stockpiles susceptible to winds, can cause fugitive dust. During construction, dust control measures will be implemented. Examples of these mitigation measures that may be used on the TWP include:

- Speed limits for construction vehicles within the work area
- Water application to disturbed areas, dirt access roads, and stockpiles
- Erosion control techniques and best management practices listed in **Appendix D**
- Revegetation of disturbed areas following construction activities

Water will be used as needed for dust suppression during construction. Water sources could be nearby fire hydrants, water pipelines, and water trucks. Water may be purchased from local water providers for construction activities.

Permanent facilities associated with the TWP will comply with air pollution control regulations. A generator might be required at the source water pump station for emergency backup power, if a second independent power source is not included. It may be possible for PVREA to extend a second, redundant power feed to the source water pump station for emergency backup power. If a second feed is feasible and cost-effective, an emergency diesel powered backup generator will not be required. Thornton will continue to coordinate with PVREA to determine specific requirements for power service to the source water pump station. Regular maintenance will be performed to ensure that the generator provides backup power throughout its service life. The proposed generator will comply with county, state, and federal air quality standards. If required by the state, a Colorado Air Emissions Permit will be obtained prior to system startup. A Larimer County Site Plan Review application will be submitted to Larimer County for the source water pump station after design.

The proposed water tank will not have emission sources; therefore, will not require a Colorado Air Emissions Permit.

Section 9 Adjacent Property Owner List

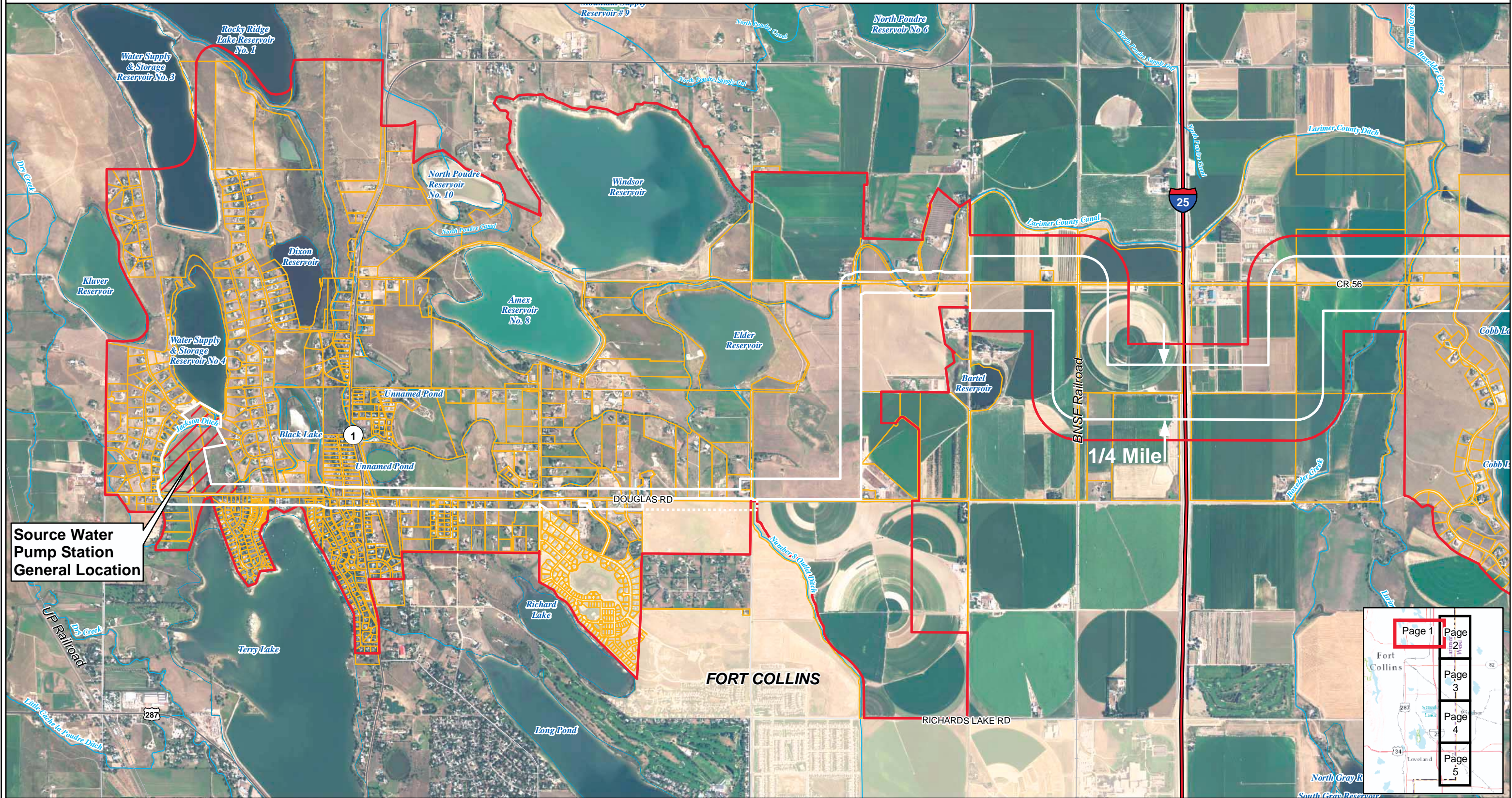
This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 9.

Three copies of mailing labels with property owner names and addresses are provided. Property owner information was obtained from the records of the County Assessors for Larimer and Weld Counties on January 2, 2018 and January 2, 2018, respectively. Mailing labels are provided for the following property owners:

- Larimer County property owners within the TWP corridor and within 500 feet of the TWP corridor. Property owners who are outside 500 feet of the TWP corridor but in a neighborhood within 500 feet are included as shown on **Figure 9-1** through **Figure 9-5**.
- Weld County property owners within 500-feet of the Larimer County TWP corridor (The Larimer/Weld County boundary line and the TWP corridor boundary in Larimer County are coincident).
- Non-duplicated from other labels names and addresses from attendees who signed-in and provided an address at the Open Houses in Larimer and Weld Counties held on:
 - November 14, 2016 at Southwest Weld Services Complex; 4209 Weld County Road 24 ½ Longmont;
 - November 16, 2016 at Poudre Valley REA; 7649 REA Parkway Fort Collins;
 - December 6, 2016 at Larimer County Courthouse; 200 West Oak Street Fort Collins; and
 - December 8, 2016 at Johnstown Senior Center; 101 Charlotte Street Johnstown.
- Non-duplicated from other labels names and addresses from attendees who signed-in and provided an address at the combined Home Owners' Association meeting with the Eagle Lake, Braidwood, and Woody Creek communities held on February 27, 2017.
- Non-duplicated from other labels names and addresses from attendees who signed in and provided an address at the Community Update meeting held on September 12, 2017.

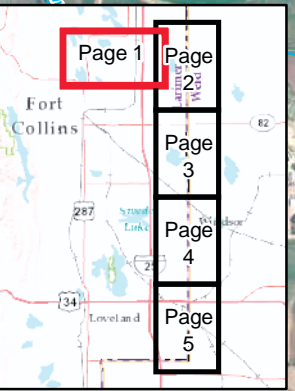
An affidavit attesting to the accuracy of the mailing list is included.

Thornton Water Project

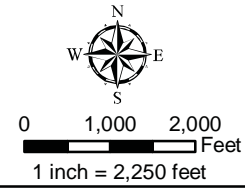


Source Water Pump Station General Location

1/4 Mile



CITY OF THORNTON COLORADO
 12450 WASHINGTON ST
 THORNTON, CO 80241-2405
 1/2/2018

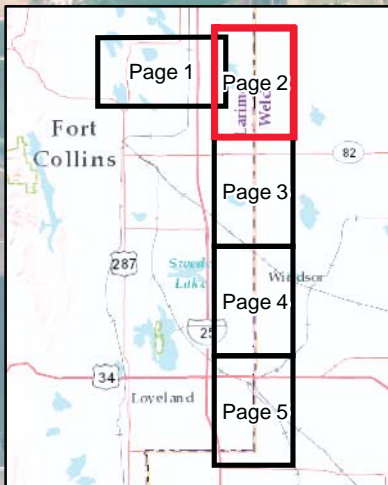
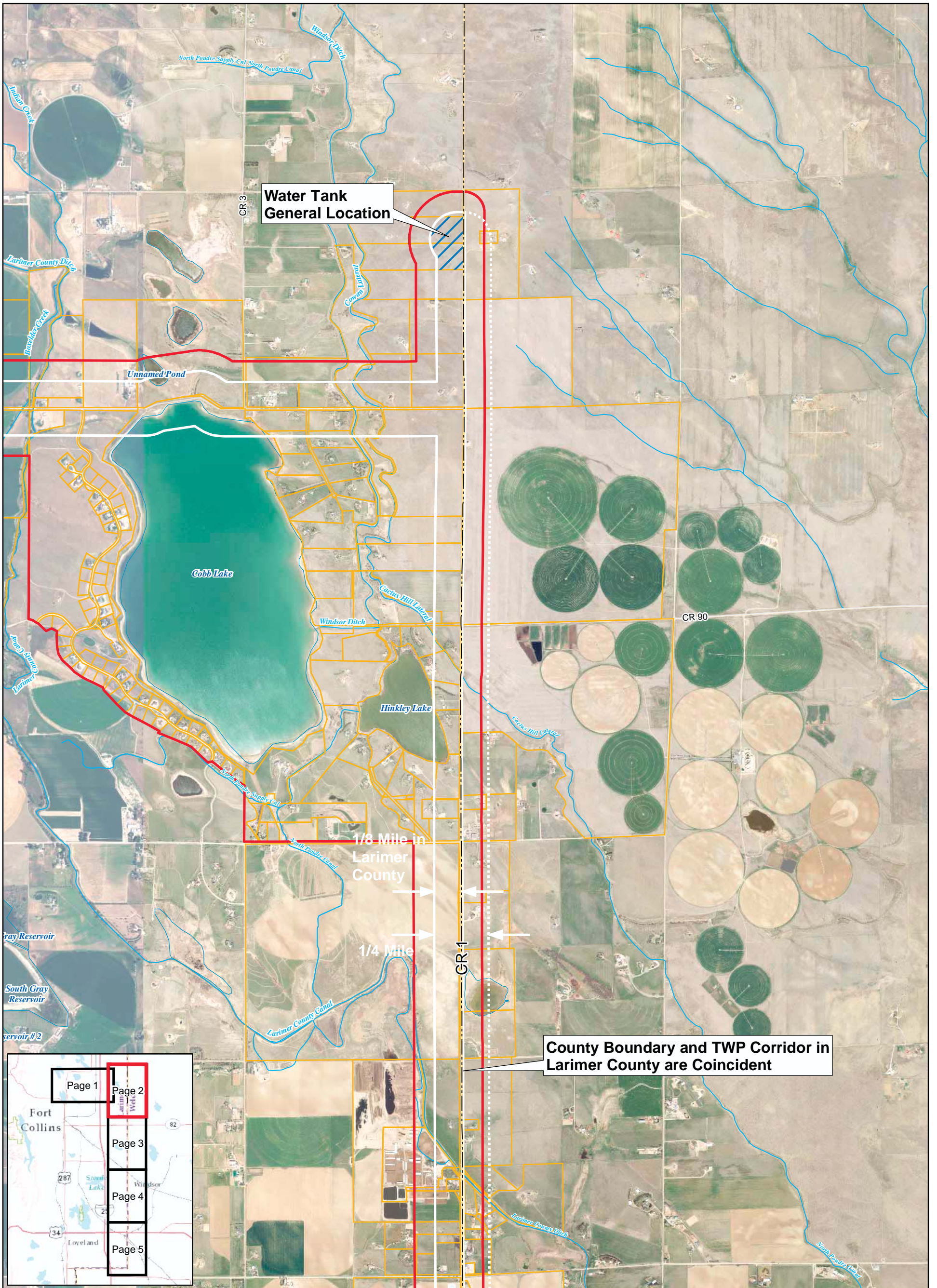


- | | | |
|---|---|--|
| <ul style="list-style-type: none"> TWP Corridor in Unincorporated Larimer County TWP Corridor outside Unincorporated Larimer County *Source Water Pump Station General Location Water Tank General Location | <ul style="list-style-type: none"> County Boundary Railroad Lake/Reservoir River/Stream/Canal/Ditch Notification Area Parcels | <p>Corporate Boundary</p> <ul style="list-style-type: none"> Fort Collins Johnstown Loveland Timnath Wellington Windsor |
|---|---|--|

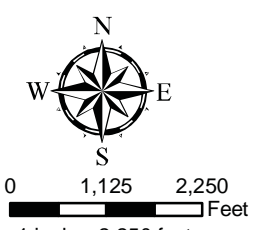
* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Figure 9-1 Adjacent Property Owner Notification Area

Thornton Water Project



CITY OF THORNTON
COLORADO
 12450 WASHINGTON ST
 THORNTON, CO 80241-2405

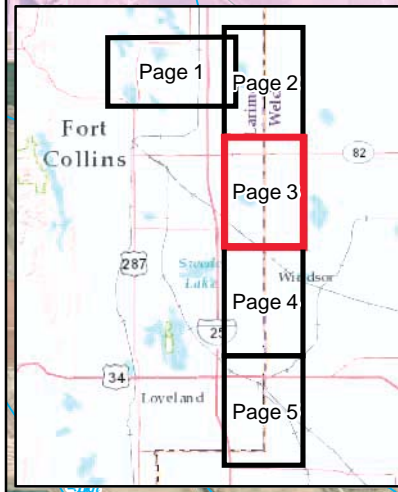
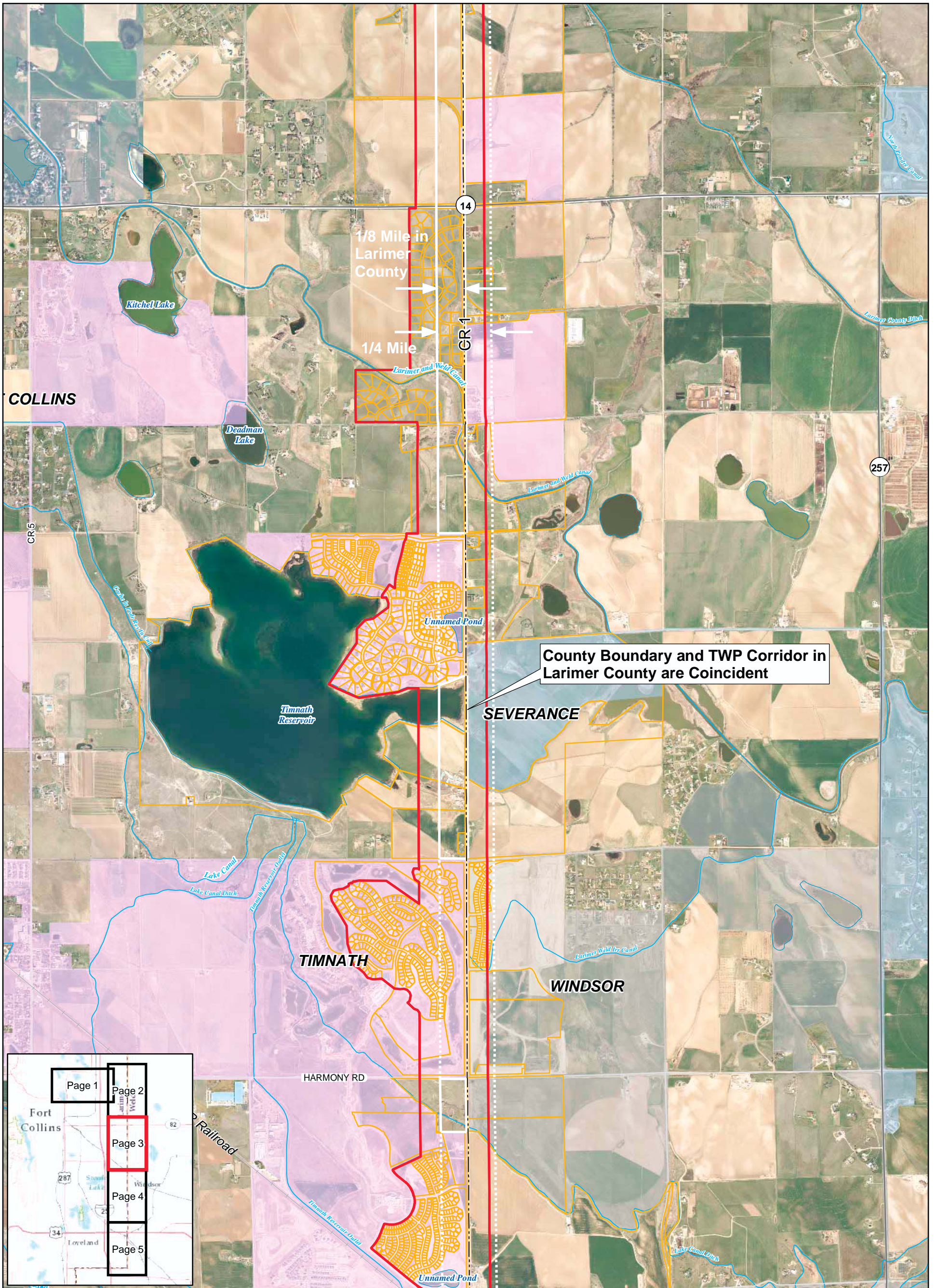



- TWP Corridor in Unincorporated Larimer County
- TWP Corridor outside Unincorporated Larimer County
- *Source Water Pump Station General Location
- Water Tank General Location
- County Boundary
- Railroad
- Lake/Reservoir
- River/Stream/Canal/Ditch
- Notification Area
- Parcels
- Corporate Boundary**
- Fort Collins
- Johnstown
- Loveland
- Timnath
- Wellington
- Windsor

Figure 9-2
Adjacent Property Owner
Notification Area

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Thornton Water Project

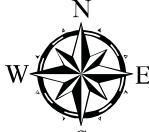




**CITY OF THORNTON
COLORADO**

12450 WASHINGTON ST
THORNTON, CO 80241-2405

1/2/2018



0 1,125 2,250
Feet

1 inch = 2,250 feet

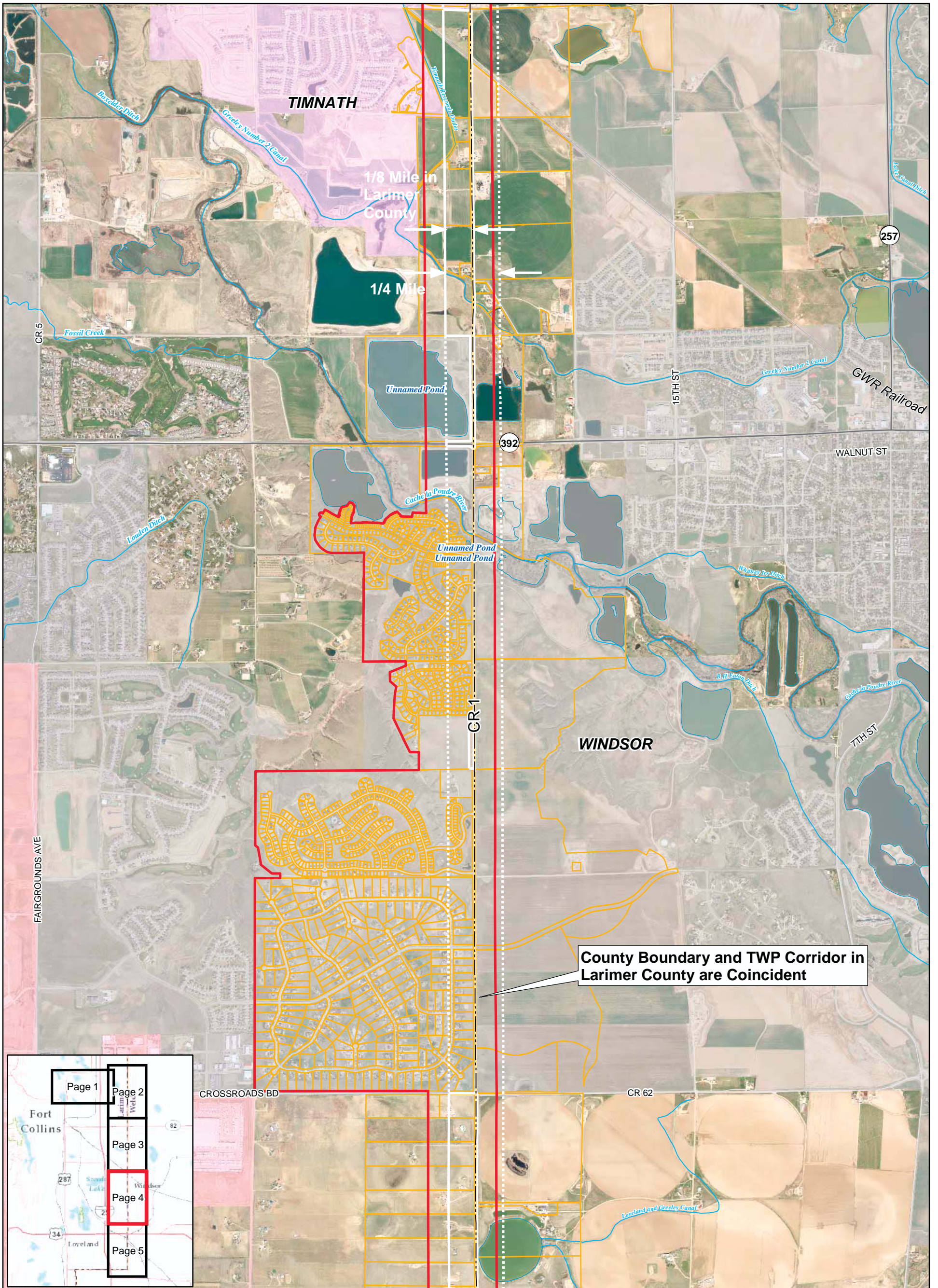
TWP Corridor in Unincorporated Larimer County	Notification Area
TWP Corridor outside Unincorporated Larimer County	Parcels
*Source Water Pump Station General Location	Corporate Boundary
Water Tank General Location	Fort Collins
County Boundary	Johnstown
Railroad	Loveland
Lake/Reservoir	Timnath
River/Stream/Canal/Ditch	Wellington
	Windsor

**Figure 9-3
Adjacent Property Owner
Notification Area**

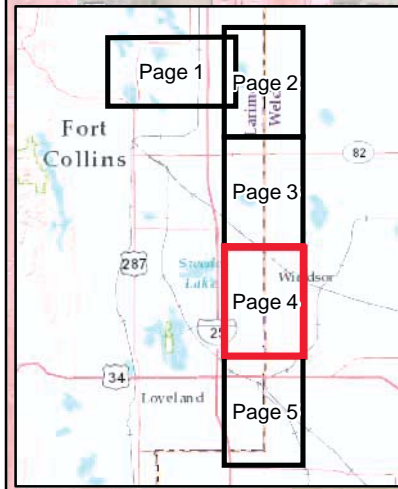
* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.


Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, NRCS, DRCOG, NAIIP

Thornton Water Project



County Boundary and TWP Corridor in Larimer County are Coincident

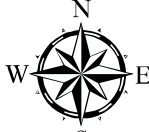




**CITY OF THORNTON
COLORADO**

12450 WASHINGTON ST
THORNTON, CO 80241-2405

1/2/2018



0 1,125 2,250
Feet

1 inch = 2,250 feet

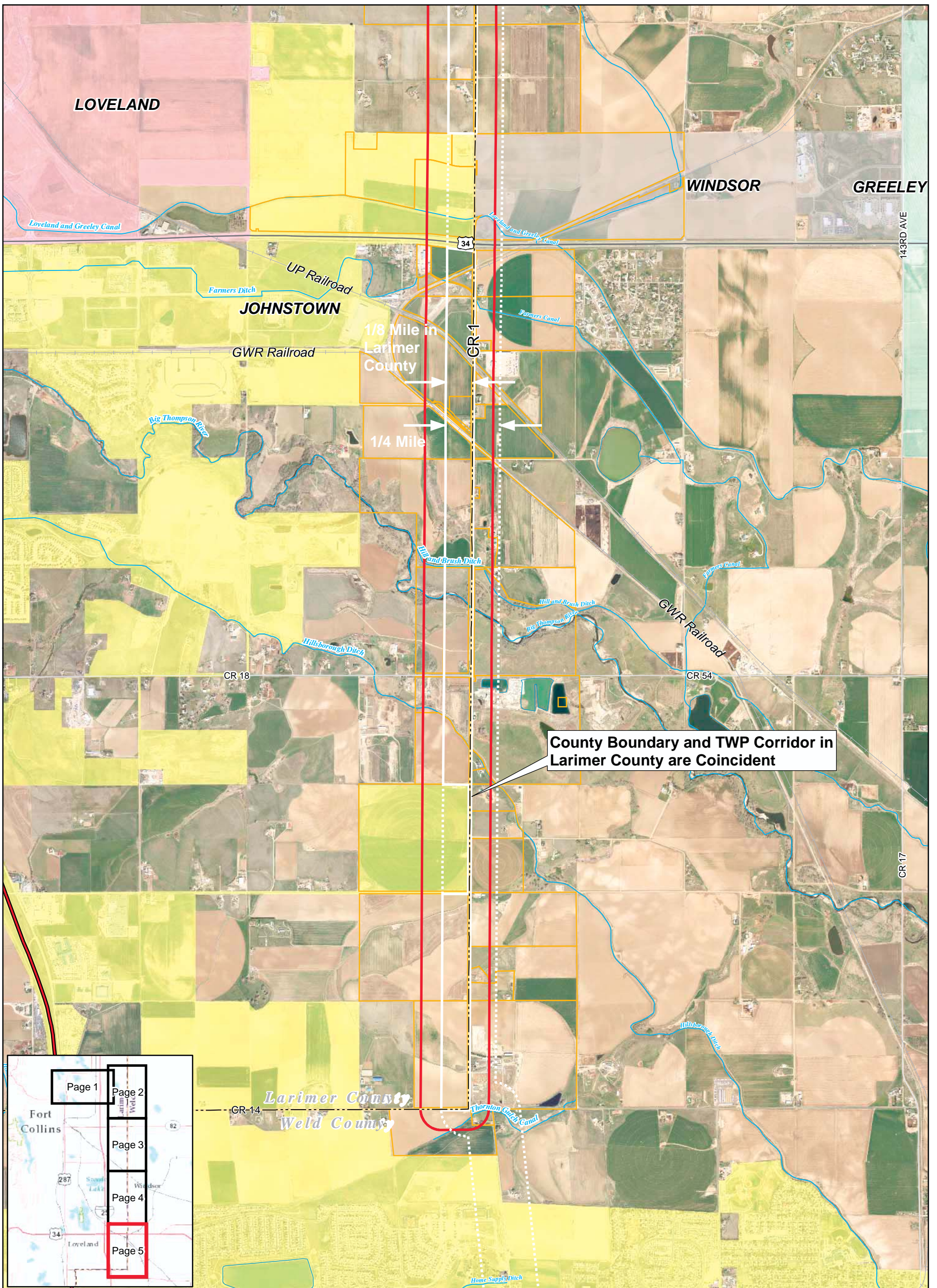
TWP Corridor in Unincorporated Larimer County	Notification Area
TWP Corridor outside Unincorporated Larimer County	Parcels
*Source Water Pump Station General Location	Corporate Boundary
Water Tank General Location	Fort Collins
County Boundary	Johnstown
Railroad	Loveland
Lake/Reservoir	Timnath
River/Stream/Canal/Ditch	Wellington
	Windsor

**Figure 9-4
Adjacent Property Owner
Notification Area**

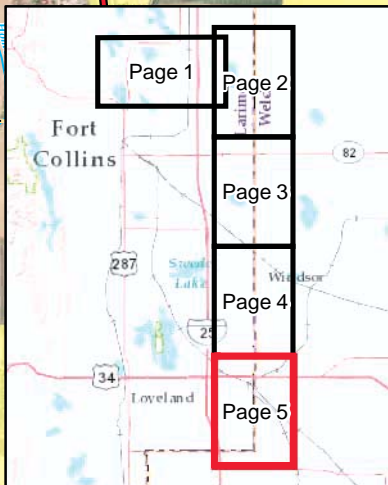
* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.


Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, NRCS, DRCOG, NAIIP

Thornton Water Project



County Boundary and TWP Corridor in Larimer County are Coincident






**CITY OF THORNTON
COLORADO**

12450 WASHINGTON ST
THORNTON, CO 80241-2405

1/2/2018



0 1,125 2,250
Feet

1 inch = 2,250 feet

TWP Corridor in Unincorporated Larimer County	Notification Area
TWP Corridor outside Unincorporated Larimer County	Parcels
*Source Water Pump Station General Location	Corporate Boundary
Water Tank General Location	Fort Collins
County Boundary	Johnstown
Railroad	Loveland
Lake/Reservoir	Timnath
River/Stream/Canal/Ditch	Wellington
	Windsor

**Figure 9-5
Adjacent Property Owner
Notification Area**

* Final location of the Source Water Pump Station will be determined during design development. Thornton will submit a Site Plan Review permit application to Larimer County after design has progressed to the level necessary to submit the application.

Sources: NHD, USGS, CDWR, Larimer and Weld Counties, CDOT, NRCS, DRCOG, NAIP

AFFIDAVIT OF ACCURACY OF MAILING LIST

I, Jody Henry, being first duly sworn, depose and state:

1. I am the Thornton Water Project ("TWP") Owner's Advisor for the City of Thornton ("Thornton").
2. As the TWP Owner's Advisor for Thornton, I have knowledge of the mailing list compiled by CH2M HILL on behalf of Thornton for:
 - a. Larimer County property owners within the TWP corridor, within 500-feet of the TWP corridor, and in a neighborhood within 500-feet, which information was obtained from the records of the Larimer County Assessors office on January 2, 2018; and
 - b. Weld County property owners within 500-feet of the TWP corridor boundary in Larimer County (The Larimer/Weld County boundary line and the TWP corridor boundary in Larimer County are coincident), which information was obtained from the records of the Weld County Assessors offices on January 2, 2018; and
 - c. Non-duplicated from other labels names and addresses from 146 attendees who attended Open Houses in Larimer and Weld Counties held on:
 - 1) November 14, 2016 at Southwest Weld Services Complex; 4209 Weld County Road 24 1/2 Longmont;
 - 2) November 16, 2016 at Poudre Valley REA; 7649 REA Parkway Fort Collins;
 - 3) December 6, 2016 at Larimer County Courthouse; 200 West Oak Street Fort Collins; and
 - 4) December 8, 2016 at Johnstown Senior Center; 101 Charlotte Street Johnstown.
 - d. Non-duplicated from other labels names and addresses from attendees who attended the combined Home Owners' Association meeting with the Eagle Lake, Braidwood, and Woody Creek communities held on February 27, 2017.
 - e. Non-duplicated from other labels names and addresses from attendees who signed in and provided an address at the Community Update meeting held on September 12, 2017.
3. To the best of my knowledge, information and belief, the mailing list provided in Section 9 Adjacent Property Owner List, of Thornton's Larimer County 1041 Permit Application, is an accurate list of the names and addresses of the property owners identified within the areas described in Paragraph 2 above.

FURTHER YOUR AFFIANT SAYETH NOT.



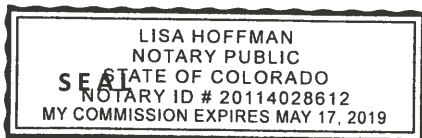
Jody Henry, TWP Owner's Advisor

STATE OF COLORADO)
)ss.
COUNTY OF DOUGLAS)

The foregoing instrument was subscribed and sworn to before me this 3rd day of January, 2018 by Jody Henry CH2M HILL, TWP Owner's Advisor.

WITNESS my hand and official seal.

My commission expires: May 17, 2019.





Notary Public

Larimer County Property Owners

Weld County Property Owners

Open House Attendees

HOA Meeting Attendees

Section 10 Application Fee

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 10, and the criteria and standards in LUC Section 12.1.C.

A check for \$5,800 payable to Larimer County Planning is included with this Application for the Larimer County Development Review Fee required for domestic water/sewer transmission lines.

Section 11 Signed Pre-Application Conference Form and Submittal Checklist

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 11.

The Pre-Application Conference Form and submittal checklist provided by Larimer County Planning Staff to Thornton at the Pre-Application Conference is provided here.

October 20, 2008

**Larimer County Planning Dept.
Procedural Guide for
1041 PERMITS**



PLEASE NOTE: A PRE-APPLICATION CONFERENCE IS REQUIRED PRIOR TO SUBMITTING THIS APPLICATION.

PURPOSE:

State Statutes allow local governments to designate certain areas and activities of state interest and require permits for development involving those areas and activities. This is a discretionary approval process by the County Commissioners.

APPLICABILITY:

A 1041 Permit is required prior to conducting any activity that has been designated as a Matter of State Interest, unless the County Commissioners have granted an appeal to the requirement for a Permit or have adopted an intergovernmental agreement such that a Permit is not required.

PROCESS:

All applications for 1041 Permits require a Pre-application Conference, Planning Commission review and Board of County Commissioner review.

POST APPROVAL REQUIREMENTS:

Prior to the issuance of a 1041 permit, the following conditions must be met, if applicable:

- The applicant may be required to obtain a construction permit from the county engineer.
- A development agreement may be required as a condition of approval of the 1041 Permit and may include requirements for performance guarantees.
- An agreement concerning decommissioning, abandonment or reuse of the permitted facility may be required as a condition of approval of the 1041 Permit.

SUBMITTAL INSTRUCTIONS:

- A Pre-Application Conference is required prior to submitting this application.
- The quantities of any required submittal items shall be as determined at the Pre-Application Conference.
- Applications may be submitted before 12:00 p.m. only on the date indicated on the yearly Development Review Calendar. All applications must be complete. Any application, which is not complete, will not be accepted, processed, or scheduled for review. If **all** of the items required to be submitted (as determined at the Pre-Application Conference) are not included in the application, you will be informed to pick up your application materials and re-submit at a later date.

BUILDING PERMITS – PLEASE NOTE:

No building permit shall be issued by the County for an activity or development subject to these regulations without the applicant having first obtained a 1041 Permit.

SUBMITTAL REQUIREMENTS FOR 1041 PERMITS

All submitted documents must include the project name, the date of preparation and by whom. All maps must include the scale, a graphic scale bar and north arrow. All documents must fit inside a 9" x 12" envelope. A single full set of application materials must be submitted unbound for the file record; a second full set must be provided as a public review copy.

Incomplete submittals, as determined by the Planning Director or designee, will be returned to the applicant and processing will not start until a complete application is received.

Please Note: Based upon the Planning Staff's understanding of the proposal during the Pre-Application Conference, some of the following submittal information may not be required or the level of detail reduced. Some deviations from the submittal requirements may be required at a later date if requested by a referral department or agency.

1. _____ **Application Form** completed and signed by the applicant and property owner (owner signature not required for lineal facilities such as transmission lines).

2. _____ **Project Description:** A complete, detailed written project description is essential to the timely, effective review of a development proposal. Project review can be delayed if County staff and reviewing agencies are unable to determine what is being requested and how specific standards will be met. The project description can be integrated with the vicinity and site inventory maps to give a complete picture of the proposal. The following features must be addressed in the Project Description:
 - a. General description, including purpose and need for the project;
 - b. Location and total area of the project;
 - c. Description of the site selection process, if applicable;
 - d. Description of other alternatives considered, or explanation of why no reasonable alternatives are available.
 - e. Description of the features of the project that make it consistent with the intent of the Master Plan and any applicable intergovernmental agreements affecting land use and development.
 - f. Description of recent and present uses of the site such as pasture, irrigated or dry land crops, etc.
 - g. Description of the information contained on the Site Inventory Map(s) (see 4. below) and any mitigation measures proposed to address existing hazards or adverse impacts of the project on existing conditions.
 - h. Description of any potential negative impacts of the project to public health and safety and mitigation measures proposed to address the impacts.
 - i. Description of existing and proposed utilities and facilities needed to provide Adequate Public Facilities (See Section 8.1 of the Code), and how adequate facilities will be provided:
 - 1) Sewage Disposal, include the name of the district and a description of any utility extensions needed to serve this project;
 - 2) Water Supply, include the name of the district and a description of any utility extensions needed to serve this project;

- 3) Fire Protection, identify the name of the district and the road travel distance to the nearest fire station;
 - 4) Road, identify access to the site including surface type and functional classification;
 - 5) Site improvements: describe all the public improvements (roads, drainage, etc.) needed to accommodate the project and how these public improvements will be financed;
 - j. Projected development schedule, including:
 - 1) Schedule for permitting and design (include a list of all local, state and federal permits required);
 - 2) Estimated beginning and completion of construction and beginning of operations of the facility;
 - 3) Total number of employees, employees per shift, number of shifts during the construction, operation and maintenance phases of the project.
 - k. Description of the public input process prior to the application, including the comments and concerns raised during the process and how they are addressed in the proposal.
 - l. Any addition explanation detailing how the application meets the applicable review criteria as stated in the Land Use Code.
3. _____ **Vicinity Map(s).** The map(s) must include the outline of the perimeter of the parcel proposed for the project site (for linear facilities, the proposed centerline and width of any corridor to be considered for the 1041 Permit), property parcels, location of all residences and businesses, any abutting subdivision outlines and names, the boundaries of any adjacent municipality or Growth Management Area, roads (clearly labeled) and significant natural features in the vicinity of the project. The area to be included on the map(s) will be determined at the pre-application conference and will generally be at least one mile beyond the project perimeter. Vicinity area: _____.
4. _____ **Site Inventory Map(s):** - Information needed to complete the site inventory is available from the Planning Department and other sources noted in the Technical Supplement. The applicant is responsible for assembling this information and using it to design the proposed project. The application must include this information so the project file is complete and the applicant can demonstrate how the information was used.
- a. The applicant must identify all resources and environmental conditions potentially impacted by the proposed development. The inventory must include the following features on the site and within one half mile of the boundaries of the project perimeter (1,000 feet for linear facilities). If access to adjacent land is not possible the inventory may be completed by using map resources available in the Planning Department. The inventory may include a narrative explanation and/or maps depicting the location of the features. The site inventory may be integrated with the Project Description to give a complete picture of the proposal. The title of the project must appear on each map sheet. If an aerial photo is being used, indicate the date of the photography. The Site Inventory Map(s) may be required to contain the following information:
 - b. Existing buildings, structures, utilities (water transmission lines and sewer collection lines), easements and other features including irrigation facilities, fences, roads, etc.;

- c. Location of all residences, any abutting subdivision outlines and names, and the boundaries of any adjacent municipality or Growth Management Area.
- d. Existing vegetation, soil types for SCS Soil Survey , water bodies, and other natural features;
- e. Officially designated 100 year flood plains with Flood Way and Flood Fringe clearly shown;
- f. Geologic Hazards rated 3 through 7 with location and classification shown, including areas with expansive soils and other moderate hazards;
- g. Wetlands – area of wetlands (See Section 8.2)
- h. Drainage patterns and general direction of flows on and through the site;
- i. Topography with a contour interval sufficient to evaluate the proposal but no greater than 40-foot intervals. Contours must be labeled every 5 to 7 inches and every 5th contour line clearly shown by a heavier line. Areas of 20% or greater slope must be clearly shown by shading or other means;
- j. Wildlife habitat and migration corridors with a description of the ways wildlife use the site and the species involved, with proposed setbacks or other potential mitigation measures;
- k. Habitat for rare and endangered plants with species clearly indicated;
- l. Wildfire Hazards with location and classification shown;
- m. Sites and structures listed on the State and National Register of Historic Places;
- n. Commercial Mineral Deposits with the type of mineral deposit indicated along with estimates of the quantity and quality of the mineral and the amount of overburden present.
- o. Other information as necessary to demonstrate how the application meets the applicable review criteria as stated in the Land Use Code.

5. _____ **1041 Permit Site Map(s):** These maps are intended to graphically display the location of existing and proposed development associated with the 1041 permit application. The following information should be included, as applicable:

- a. Project boundary annotated with distances
- b. Building Setback lines, if applicable
- c. Easements
- d. Location of:
 - 1) Existing buildings and structures (indicate which will be retained and which will be removed);
 - 2) Proposed buildings;
 - 3) Proposed structures;
 - 4) Existing vehicular accesses to be retained;
 - 5) Proposed vehicular accesses;
 - 6) Emergency vehicular access;
 - 7) Parking area(s);
 - 8) Landscaping, if proposed – see the Landscape Plans procedural guide;
 - 9) Loading and delivery areas;
 - 10) Refuse areas;
 - 11) Proposed signs (also provide data on height, width, area and method of illumination);
 - 12) Current and proposed width, name, and location of adjacent right-of-ways;

- 13) Location and size of proposed and existing utilities (gas, elec., water, sewer, well and/or septic, etc.);
- 14) Existing and proposed hazardous materials and/or fuel storage;
- 15) Additional site elements, as applicable.

Note: The content and format of 1041 Permit Site Maps(s) for linear facilities will be reviewed at the Preapplication conference. Essentially the same information will be required; however format and content may be altered to insure adequate information is provided for evaluation of the facilities.

- 6. **Reduced 1041 Site Permit Map(s):** A copy of the 1041 permit map document(s) submitted on an 8 ½” x 11” sheet.

- 7. **Legal Description** typed on an 8 ½” x 11” paper. This must be a boundary description certified by a licensed surveyor. A specific legal description will not be required for linear facilities; however an accurate and succinct description in layman’s terms of the route alignment must be provided.

- 8. **Technical Reports:** The following reports and plans may be required for individual permit applications, as specified at the Pre-Application Conference. Information may be required for both construction and operational phases of the proposed project, if applicable.
 - a. **Wetland Mitigation Plan** A wetland mitigation plan (see Section 8.2.11) is required when an existing wetland or its buffer area (see Section 8.2.8 Wetland development standards) is altered or is proposed to be altered by the development.
 - b. **Wildlife Conservation Plan.** A wildlife conservation plan (see Section 8.4.7) is required if the proposed development will or may have an adverse impact on wildlife and wildlife habitats, and the impact has not been avoided or mitigated (see Section 8.4.6 Wildlife development review criteria).
 - c. **Natural Hazard Mitigation Plan.** A hazard mitigation plan is required if the proposed development is determined to be within a wildfire hazard area or a geologic hazard area (see Section 8.3.8 for mitigation plan requirements).
 - d. **Traffic Impact Study** –(See Section 8.1.5 of the Land Use Code) – This report shall be prepared by a professional engineer to analyze the short and long term impacts of vehicular traffic associated with new development and shall identify any improvements necessary to mitigate the impacts. If property is within an established GMA, refer to Urban Area Street Standards (Chapter 4). If property is not within an established GMA, refer to the Larimer Rural Area Road Standards (Appendix F). If property is not within an established GMA, refer to the Larimer Rural Area Road Standards (Appendix F).
 - e. **Drainage and Erosion Control Report and Plan** –This report and plan shall be prepared by a professional engineer that gauges increased stormwater and water quality impacts associated with the proposed development. It must include a hydrologic analysis for peak flow rates of storm water entering, passing through, and leaving the site for the minor and major storm events (refer to the Larimer County Stormwater Design Standards pages 3-7 for submittal requirements). If approved by the Larimer County Engineering Department, a simplified drainage narrative may be submitted as an alternative to the drainage and erosion control report and plan.

- f. **Floodplain Hydraulic/Hydrologic Modeling Report** – If property is in a floodplain, contact the floodplain administrator in the engineering department to determine if this report is required. This report shall be prepared by a professional engineer to identify impacts associated with new development within identified floodplains and identify any improvements necessary to mitigate the impacts (refer to Section 4.2.2 of the Larimer County Land Use Code)
 - g. **Groundwater Modeling Report** – The potential for groundwater impacts shall be assessed at the early stages of the project. Construction methods can not create new permeable pathways along which groundwater may flow preferentially. The groundwater assessment - which may need to include detailed groundwater modeling - should take into account the nature of the construction (i.e. trenching, piling, etc), the presence, baseline conditions, and vulnerability of aquifers, and the proximity and sensitivity of nearby water sources. Mitigation measures shall be proposed in the Report.
 - ~~h.~~ **Non-Subdivision Water Supply Inquiry** (attached).
 - ~~i.~~ **Simulation of the appearance of the facility** – Generally required for all structures and facilities that are 40 feet in height or greater. Where significant, map or describe the area within view of the project.
 - ~~j.~~ **Computer modeled electromagnetic field measurements** (for electrical transmission lines and substations) and description of measures taken to comply with the concept of prudent avoidance.
 - k. **Noise Analysis** and proposed mitigation measures, if applicable.
 - l. **Air Quality Impact and Mitigation Report** – specific requirements for this report will be discussed at the Pre-Application Conference.
 - m. **Other** information as deemed necessary at the Pre-Application Conference.
9. **Adjacent Property Owners List (3 copies):** The names and addresses of all property owners with a minimum of 500 feet of the property boundaries (the exact distance to be determined at the Pre-Application Conference). Records of the County Assessor must be used to determine the names and mailing addresses of those to be notified. **This list shall include the names and addresses of all meeting attendees at any public input process. These names and addresses must be typed on mailing labels with an affidavit submitted attesting to the accuracy of the mailing list.**
10. **Application Fee** - see the current Fee Schedule in the Planning Department for the amount (Make checks payable to Larimer County Planning).
11. **Signed Pre-Application Conference Form and submittal checklist** by the Planning Department.
12. **Other** – any other or project specific information necessary for the evaluation of the application not specifically noted above shall be noted here as a part of the Pre-application conference:

Additional Information:

- X** _____ **Certification Regarding Notification of Mineral Interest Owners and Lessees**
(**please note: this notification does not apply to applications for a change of use of an existing structure or to electric lines.) – Thirty (30) days prior to the Planning Commission hearing, notification must be provided to Mineral Interest Owners and Lessees as required by State Statute 24-65.5 (see attachment) notifying them of the proposed development. Further, a signed certification must be received by the Larimer County Planning Department prior to the hearing that such notification was provided (see attached certification form). **Failure to receive this certification will result in the hearing being rescheduled to a later date.**
Please be prepared upon receiving verification from the Larimer County Planning Department of the exact date and time of the Planning Commission hearing to mail such information as described in State Statute 24-65.5 to all Mineral Interest Owners and Lessees.

- 2. _____ **Post approval requirements**, as required as conditions of approval of the 1041 permit, may include Site Plan Review, Development Agreements and Access Permits.



www.larimer.org

Planning Department

200 W. Oak Street
3rd Floor
Fort Collins, CO 80521
970-498-7683

Development Review Process

What process are you applying for?

- 1041
- Appeal
- Add-on Agreement
- Amended Plat
- Boundary Line Adjustment
- Condominium Map Review
- Extended Family Dwelling
- Farmstead
- Location & Extent
- Lot Consolidation
- Minor Land Division
- Minor Special Review
- Nonconformities
- Plat Vacation
- Rezoning
- ROW or Easement Vacation
- Site Plan Review
- Special Exception
- Special Review
- Variance
- Wireless Facility
- Other: _____

Application Phase

What process phase are you applying for?

- Admin Review
- Sketch Plan Review
- Public Hearing

Land Use Application

All applications must be complete. To be complete, the application must include all items identified on the submittal requirement checklist. Any application which is not complete will not be accepted, processed, or scheduled for review.

GENERAL INFORMATION – Information about people with interest in the project

Property Owner

Name: _____
Address: _____
City/State/Zip: _____
Phone: _____
Email: _____

Property Owner

Name: _____
Address: _____
City/State/Zip: _____
Phone: _____
Email: _____

Applicant

Name: _____
Address: _____
City/State/Zip: _____
Phone: _____
Email: _____

Contact Person – will receive correspondence from County staff and referral agencies

Name: _____
Address: _____
City/State/Zip: _____
Phone: _____
Email: _____

Engineer/Surveyor

Name: _____
Address: _____
City/State/Zip: _____
Phone: _____
Email: _____

PROJECT IDENTIFICATION (list all parcels #'s that pertain to the project):

Signatures required by ALL Property Owners and the Applicant

I hereby certify that I am the lawful owner of the parcel(s) of land that this application concerns and consent to the action. I hereby permit county officials to enter upon the property for the purposes of inspection relating to the application. Building Permits **will not be accepted** while this application is in process.

Property Owner(s) _____ Date: _____

Property Owner(s) _____ Date: _____

In submitting the application materials and signing this application agreement, I acknowledge and agree that the application is subject to the applicable processing and public hearing requirements set forth in the Larimer County Land Use Code (which can be viewed at www.larimer.org)

Applicant _____ Date: _____

THIS SECTION IS FOR PLANNING STAFF TO COMPLETE AT PRE-APP

PROJECT SITE INFORMATION	
Project Location: Quarter Section _____	Section _____ Township _____ Range _____
Project Address (if available): _____	
Assessor's Parcel Numbers (list all parcels that pertain to the project): _____	
Pre-Application Conference Date: <u>5/24/14</u>	Planner: <u>Rt</u>
Pre-Application Conference attended by: <u>Rt - Thomas Wyo</u>	
Proposed Request: <u>1041 for water pipeline</u>	
Plan Area (if applicable): <u>—</u>	Lot Size(s): <u>—</u>
Related Files: <u>—</u>	
Setback Information: _____	
Utilities: Water: _____	Sewer: _____ Fire: _____
Current Zoning: <u>—</u>	Proposed Zoning (if applicable): <u>—</u>

THIS SECTION IS FOR PLANNING STAFF TO COMPLETE FOR SENDOUT

PROJECT SENDOUT INFORMATION		
Project Title: _____	File #: _____	
Project Location Description: _____		
Request (Project Description): _____		
Site Access: _____		Trips Generated by Proposal: _____
Proposed Use: _____		Notification Area: _____
Schedule for Hearing? <u>Yes</u> <u>No</u> Hearing Date: _____		Planner: _____

Received By: _____	Date: _____	Sign Given: _____	Paid \$: _____	Check #: _____
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Sendout List for City of Timnath Waterline 1991
 Comments Due By: _____

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ALTERS

AIRPORTS		COUNTY STAFF (CONT)		LETA (FP only)	
Fort Collins-Loveland	4523	Weed District (all Sketch Plan and Public Hearing apps.)	413	MUNICIPALITY -	
Fort Collins-Downtown	520	Wildfire/Emergency Services (Tony Simons)	411	Berthoud	510
				Estes Park	505
COUNTY STAFF		DITCH COMPANY		Fort Collins (7 copies)	500
Addressing- Preliminary and Final Plats	415			Johnstown	505
Assessors	432	FEDERAL		Loveland	508
Building - Stan	412	Bureau of Land Mgmt	4502	Timnath	512
Code Compliance - refer all projects	432	Bureau of Reclamation	4503	Wellington	513
County Attorney - Jeannine	426	Corp. of Engineers - needs plat and wetlands info.	4518	Windsor	514
Brian Helminiak	425	Forest Service	4499	COMM. INFLU. AREA	
Emergency Management (Eric Nilsson)	404	National Park	4506	Waverly Community Influence Area	538
Engineering - All docs/plans	409	U.S. Fish and Wildlife	4999	POST OFFICE	
Environmental Coordinator	414			Berthoud	4511
Field Trip Copy - Sketch Plan	424	FIRE		Estes Park:	4514
GIS	405	Berthoud	2001	Fort Collins	4515
Health-All docs/plans	401	Estes Park	2008	Livermore	4516
Landscaping	433	Loveland	2002	Loveland	4512
Parks	403	Poudre Fire	2002	Lyons	4520
Road and Bridge	428	Wellington	2004	Timnath	4522
TDU Administrator	441	Windsor-Severance	2005	Wellington	4521

SCHOOL	STATE (cont.)	WATER (cont.)
Park R-3	3501 Geolog. Survey – PP Stage – need plat, geo. tech, soils and drainage reports	4002 City of Loveland
Poudre R-1	3502 Transportation-CDOT – needs plat and traffic report	4004 ELCO
RE-1 J St. Vrain	3504 Mined Land Rec. Board	4018 Estes Park, Town of
Thompson R2-J	3503 Parks	4006 Fort Collins-Loveland
	Soil Conservation – needs plat and soils report	4044 Little Thompson
SEWER		Northern CO Water Assoc.
Boxelder	1500 UTILITIES	Northern CO Water Conserv.
Berthoud, Town of	1512 AT&T-only if project is east of I-25	Northern Weld
Cherry Hills	1501 City of Greeley	1009 Pinewood Springs
City of Fort Collins	1503 Kaneb Pipeline	2514 Spring Canyon
City of Loveland	1510 PRPA	2528 Sunset Water
Estes Park	1513 Railroad – Union Pacific	2517 Wellington, Town of
South Fort Collins	1505 BNSF	2515 West Fort Collins
South Loveland	1506 REA	2518
Spring Canyon	1508 Sinclair Pipeline	2521
Upper Thompson	1507 WAPA	4505
	West Gas	2503
STATE	Xcel Energy	2502
CO Div. of Fire Safety	2020 CENTURYLINK	2494
Div. Water Resources – SUBS required – needs water resources form and plat	4005	Additional Copies – if applicable(no referral) BCC (3 Copies)
DOW – S of CR 38E/S of CR 32	4008 WATER:	Ping Commission (9 copies) ✓
DOW – Everything else	4007 Berthoud, Town of	LAPAC (10 copies)
Forest Service	4000 City of Fort Collins	Red Feather PAC (13)
	City of Greeley	1006

Section 12 Additional Information

This section addresses *Larimer County Procedural Guide for 1041 Permits*, Item 12.

In accordance with the Colorado Revised Statute, Title 24, Article 65.5-102, Paragraph (2)(a) an application for development does not include applications for water pipelines and associated appurtenances. Based on this exclusion and as discussed with Larimer County Planning staff at the Pre-Application Conference held on May 26, 2016, submission of Certification Regarding Notification of Mineral Interest Owners and Lessees is not required.

Colorado Revised Statute, Title 24, Article 65.5-102, Paragraph (2)(a):

"Application for development" means an initial application for a sketch plan, a preliminary or final plat for a subdivision, a planned unit development, or any other similar land use designation that is used by a local government. "Application for development" includes applications for general development plans and special use permits or any applications for zoning or rezoning to a planned unit development that would change or create lot lines where such applications are in anticipation of new surface development, but does not include amendments to an urban growth boundary, applications for annexation and zoning, applications for zoning or rezoning that will not change or create lot lines, an application for development that is a special use permit for the extraction of construction materials, as that term is defined in section 34-32.5-103, C.R.S., building permit applications, applications for a change of use for an existing structure, applications for boundary adjustments, applications for platting of an additional single lot, applications for lot site plans, or applications with respect to electric lines, crude oil or natural gas pipelines, steam pipelines, chilled and other water pipelines, or appurtenances to said lines or pipelines.

References

Section 2 - City of Thornton, Third Quarter 2017 Population Estimate and Housing Inventory Report

Larimer County Master Plan 1997

Larimer County Open Lands Master Plan (Larimer County June 2015)

Larimer County Transportation Master Plan (Larimer County July 2017)

IGA for Growth Management City of Loveland, Colorado and Larimer County, Colorado approved January 12, 2004 (IGA Larimer County/Loveland)

IGA Regarding Cooperation on Managing Urban Development) by and between Larimer County, Colorado and the town of Windsor, executed January 8, 2001 (IGA Larimer County/Windsor)

IGA Larimer County and City of Fort Collins IGA Growth Management Area, November 2000 (IGA Larimer County/Fort Collins)

Larimer County Road Information Maps, 2014, 2016

Urban Storm Drainage Criteria Manual Volume 3, the City of Greeley's BMPs for Utility Planning and Construction

Groundwater Atlas of Colorado, Special Publication 53, Colorado Geological Survey, 2003